

Document prepared by:

The Alann Engineering Group, Inc.
880 Airport Road, Suite 113
Ormond Beach, FL 32174

Return recorded document to:

City of Daytona Beach Records Clerk
P.O. Box 2451
Daytona Beach, FL 32115-2451

**FIRST AMENDMENT TO ISLAMIC CENTER OF DAYTONA BEACH
PLANNED DISTRICT AGREEMENT**

THIS FIRST AMENDMENT TO ISLAMIC CENTER OF DAYTONA BEACH PLANNED DISTRICT AGREEMENT (First Amendment) made and entered into by and between The CITY OF DAYTONA BEACH, FLORIDA, a Florida municipal corporation located in Volusia County, Florida ("City"), and ISLAMIC CENTER OF DAYTONA BEACH, INC., the record title property owner ("Owner" or "Developer"), shall constitute the First Amendment to the Islamic Center of Daytona Beach Planned District Agreement.

WHEREAS, the City and Owner or Developer entered into the Islamic Center of Daytona Beach Planned District Agreement, recorded in Official Records Book 7192, Page 4474, Public Records of Volusia County, Florida (the PD Agreement); and

WHEREAS, the Owner proposes to amend the PD Agreement as set forth herein; and

WHEREAS, the City is willing to grant the Owner's request, subject to the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the City and the Owner hereby agree to amend the PD Agreement as follows:

2. EXHIBITS.

The Exhibits listed below are by reference made a part hereof, and copies or reduced size copies are attached hereto. Full-sized copies of the Exhibits shall be retained by the City Clerk and shall be controlling in case of any ambiguity in the Exhibits. In the event of a conflict between the graphic illustrations of any Exhibit and the textual provisions of this Agreement, the textual provisions shall control.

Exhibit A: Property legal description, survey.

Exhibit B: PD Plan, rev. date August 3, 2018, prepared by Alann Engineering Group, Inc.,

Exhibit C: Architectural Elevations, rev. date June 21, 2018, prepared by BFY Associates Inc.,

Exhibit D: Landscape Plan, rev. date March 8, 2018, prepared by The Stern Design Group, P.A. ,

Exhibit E: Sign Plan and Phasing Plan, rev. date August 3, 2018, prepared by BFY Associates Inc., and Alann Engineering Group, Inc.

11. EFFECTIVE DATE; COMPLETION SCHEDULE.

A. This Agreement shall be effective upon execution by all parties. The restrictions on use and development imposed by this Agreement shall be binding upon all successors, assigns and heirs in interest in the Property, unless and until the City alters or eliminates such restrictions in the course of its actions as zoning authority.

B. Application shall be submitted for all construction permits for the development, or for the first phase of a phased development, within 24 months of the approval of this Agreement by the City Commission. The filing of an appeal of the land development order by any person shall toll the time for permitting until final resolution of the appeal. If development is phased, application for construction permits for subsequent phases shall be submitted within 60 months from the date of initial approval.

C. Construction of phase one shall be substantially complete within 5 years of the approval of this Agreement. Construction of any other phase must be substantially complete within 10 years of the initial approval of this Agreement.

D. One 12-month extension of the scheduled application or completion dates may be permitted as a minor modification to this Agreement.

E. Failure to comply with the schedule set out above shall cause the development rights granted pursuant to this Agreement to lapse.

NO OTHER MODIFICATIONS

Except as otherwise expressly provided for herein, the Original PD Agreement shall continue in full force and effect.

IN WITNESS WHEREOF, the parties hereto have set their hands, this _____ day of _____, 2018.

(Remainder of Page Intentionally Left Blank)

Signed, sealed and delivered in the presence of: **THE CITY OF DAYTONA BEACH,
FLORIDA, a Florida municipal corporation**

Witness 1

Print Name of Witness 1

By: _____

Derrick L. Henry, Mayor

Attest:

Witness 2

Print Name of Witness 2

By: _____

Letitia LaMagna, City Clerk

Date: _____

STATE OF FLORIDA
COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this _____ day of _____, 201_ by _____ and _____, Mayor and City Clerk, respectively, of The City of Daytona Beach, Florida, a chartered municipal corporation, on behalf of the City. They are personally known to me and did not take an oath.

Notary Public
Commission No: _____

Signed, sealed and delivered in the presence of: **ISLAMIC CENTER OF DAYTONA BEACH, INC.**

Witness 1

Print Name of Witness 1

By: _____
Name:
Title:

Witness 2

Print Name of Witness 2

Date: _____

[Corporate Seal]

Signed, sealed and delivered in the presence of:

[DEVELOPER, IF DIFFERENT FROM OWNER]

By: _____

Witness 1

Name:

Title:

Print Name of Witness 1

Date: _____

Witness 2

[Corporate Seal]

Print Name of Witness 2

STATE OF FLORIDA

COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this ____ day of _____, 201_, by _____ as _____ of _____, referred to in this agreement as "Owner." He or she is personally known to me or produced as identification and did not take an oath.

Notary Public

Commission No. _____

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____, 201_, by _____ as _____ of _____, referred to in this agreement as "Developer". He/she is personally known to me and did not take an oath.

Notary Public

Commission No: _____

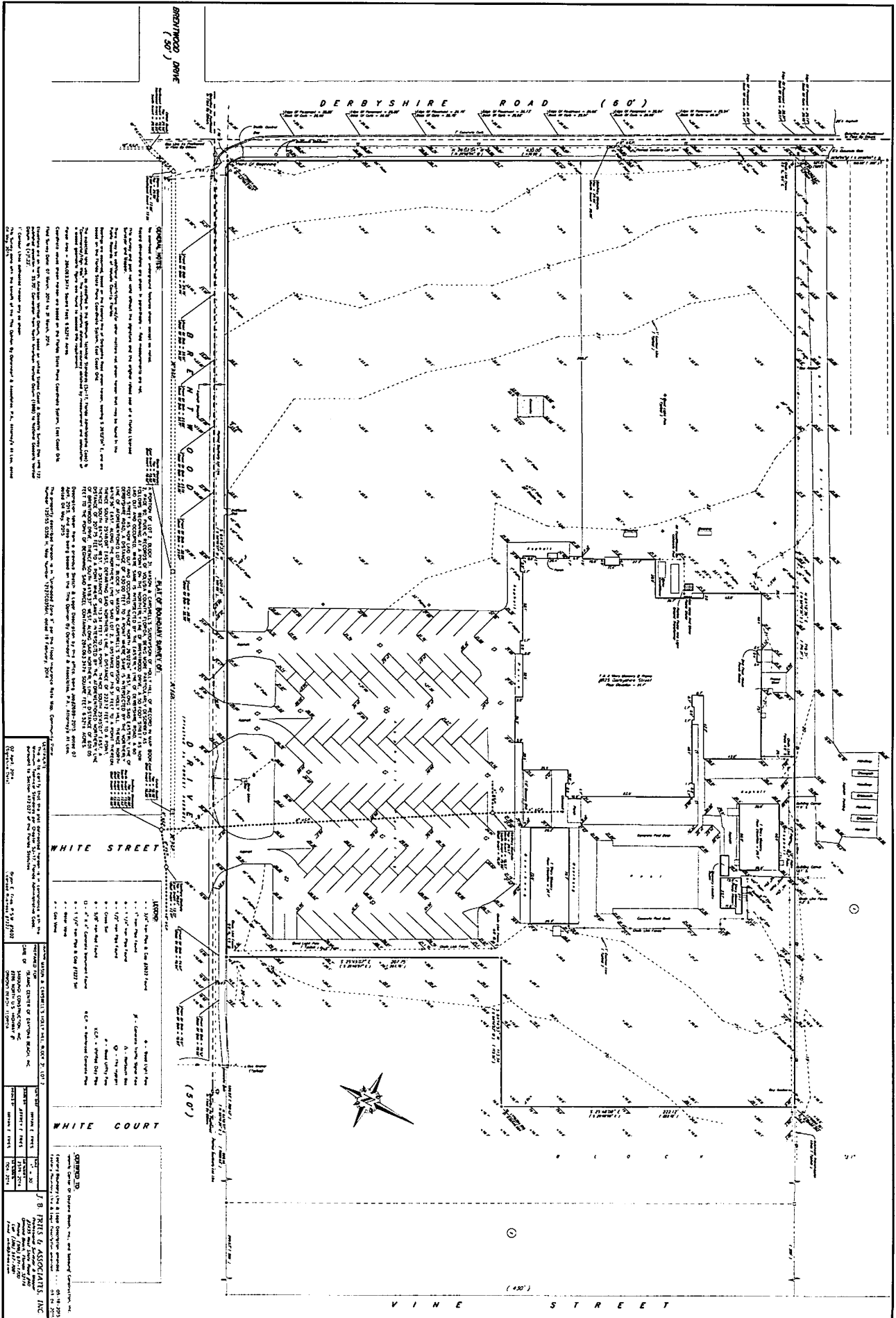
Approved as to legal form:

By: _____

Robert Jagger, City Attorney

EXHIBIT A

A PORTION OF LOT 2, BLOCK 31, MASON & CARSWELL'S SUBDIVISION OF HOLLY HILL, OF RECORD IN MAP BOOK 2, PAGE 90, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHERLY LINE OF BRENTWOOD DRIVE, A 50 FOOT STREET AS NOW LAID OUT AND OCCUPIED, WHERE SAME IS INTERSECTED BY THE EASTERLY LINE OF DERBYSHIRE ROAD, A 60 FOOT STREET AS NOW LAID OUT AND OCCUPIED; THENCE NORTH 26°02'04" WEST, ALONG SAID EASTERLY LINE OF DERBYSHIRE ROAD, A DISTANCE OF 430.00 FEET TO A POINT WHERE SAME IS INTERSECTED BY THE NORTHERLY LINE OF AFOREMENTIONED LOT 2, BLOCK 31, MASON & CARSWELL'S SUBDIVISION OF HOLLY HILL; THENCE NORTH 64°18'36" EAST, ALONG THE NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 716.31 FEET TO A POINT THEREON; THENCE SOUTH 25°48'08" EAST, DEPARTING SAID NORTHERLY LINE, A DISTANCE OF 222.12 FEET TO A POINT; THENCE SOUTH 64°14'53" WEST, A DISTANCE OF 113.34 FEET TO A POINT; THENCE SOUTH 25°45'07" EAST, A DISTANCE OF 207.75 FEET TO A POINT WHERE SAME IS INTERSECTED BY THE AFOREMENTIONED NORTHERLY LINE OF BRENTWOOD DRIVE; THENCE SOUTH 64°18'37" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 601.05 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINING 284,063.347± SQUARE FEET, 6.521± ACRES.



EXISTING UTILITIES
 All existing utilities shown on this plan are as shown on the plan and are not to be relocated. All utilities are to be shown on the plan and are not to be relocated. All utilities are to be shown on the plan and are not to be relocated.

PROPOSED UTILITIES
 All proposed utilities shown on this plan are as shown on the plan and are to be installed as shown. All proposed utilities are to be installed as shown. All proposed utilities are to be installed as shown.

NOTES
 1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE IN FEET.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

LEGEND
 1. 1/2" = 1' (Scale of Plan)
 2. 1/4" = 1' (Scale of Section)
 3. 1/8" = 1' (Scale of Detail)
 4. 1/16" = 1' (Scale of Elevation)

GENERAL NOTES
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

PREPARED BY
 J. B. REIS & ASSOCIATES, INC.
 1000 WEST 10TH AVENUE, SUITE 200
 DENVER, COLORADO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101

EXHIBIT B

ISLAMIC CENTER OF DAYTONA BEACH PLANNED DEVELOPMENT - GENERAL (PD-G) HOUSE OF WORSHIP 825 DERBYSHIRE RD DAYTONA BEACH, FL 32117 CITY ID # DEV2018-033

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT ROAD, SUITE 113
DAYTONA BEACH, FL 32117
TEL: (386) 437-1645
FAX: (386) 437-1377



LOCATION / ZONING MAP

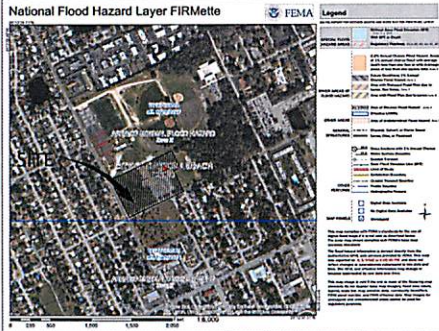


SOILS MAP



SOILS	MAP SYMBOL	HYDROLOGIC GROUP
ORSINO FINE SAND, 0 TO 5% SLOPES	37	A
QUARTZIPSAMMENTS, GENTLY SLOPING	54	A

FLOOD ZONE MAP:



OWNER
ISLAMIC CENTER OF DAYTONA BEACH, INC.
CONTACT: HASSON SABOUNGI
347 S. KEECH ST.
DAYTONA BEACH, FL 32114
PH. (386) 673-4189
E-MAIL: SABOUNGI@AOL.COM

ENGINEER
THE ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT RD. STE. 113
ORMOND BEACH, FL 32174
PH. (386) 673-1640 FAX (386) 673-3927

SURVEYOR
DANIELS SURVEYING, INC.
PROFESSIONAL SURVEYOR & MAPPER
383 CENTER STREET
DELAND, FL 32724
PH. & FAX - (386) 740-7955

LEGAL DESCRIPTION

A PORTION OF LOT 2, BLOCK 31, MASON & CARSWELL'S SUBDIVISION OF HOLLY HILL, OF RECORD IN MAP BOOK 2, PAGE 90, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHERLY LINE OF BRENTWOOD DRIVE, A 50 FOOT STREET AS NOW LAID OUT AND OCCUPIED, WHERE SAME IS INTERSECTED BY THE EASTERLY LINE OF DERBYSHIRE ROAD, A 60 FOOT STREET AS NOW LAID OUT AND OCCUPIED; THENCE NORTH 26°02'04" WEST, ALONG SAID EASTERLY LINE OF DERBYSHIRE ROAD, A DISTANCE OF 430.00 FEET TO A POINT WHERE SAME IS INTERSECTED BY THE NORTHERLY LINE OF AFOREMENTIONED LOT 2, BLOCK 31, MASON & CARSWELL'S SUBDIVISION OF HOLLY HILL; THENCE NORTH 64°18'36" EAST, ALONG THE NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 716.31 FEET TO A POINT THEREON; THENCE SOUTH 25°48'08" EAST, DEPARTING SAID NORTHERLY LINE, A DISTANCE OF 222.12 FEET TO A POINT; THENCE SOUTH 64°14'53" WEST, A DISTANCE OF 113.34 FEET TO A POINT; THENCE SOUTH 25°45'07" EAST, A DISTANCE OF 207.75 FEET TO A POINT WHERE SAME IS INTERSECTED BY THE AFOREMENTIONED NORTHERLY LINE OF BRENTWOOD DRIVE; THENCE SOUTH 64°18'37" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 601.05 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINING 284,063.34± SQUARE FEET, 6.52± ACRES.

STATEMENT OF INTENT:

TO RENOVATE AN EXISTING FACILITY WHICH INCLUDES THE ADDITION OF NEW PARKING LOT AND RELATED INFRASTRUCTURE.

SITE DATA:

<p>PARCEL NO.: 4244-01-31-0020 CURRENT ZONING CLASSIFICATION: PLANNED DEVELOPMENT - GENERAL (PD-G) PROPOSED ZONING CLASSIFICATION: PLANNED DEVELOPMENT - GENERAL (PD-G) EXISTING LAND USE: EXISTING POTENTIAL PARKS FUTURE LAND USE: EXISTING POTENTIAL PARKS</p> <p>PRINCIPLE BUILDING FOOTPRINT: EXISTING: 27,887 SF PROPOSED: 25,258 SF</p> <p>PARKING CALCULATION: PHASE 1: REQUIRED: 1 SPACE / 140 SF IN PRINCIPAL PLACE OF ASSEMBLY 7,781 SF - ADULT PRAYER HALL 7,781 SF / 150 SF = 155 SPACES PLUS 5 BICYCLE SPACES PER 50 AUTOMOBILE SPACES 155 / 50 = 3.1 X 5 = 16 BICYCLE PARKING SPACES PROVIDED: 156 TOTAL SPACES (85 REGULAR, 12 HANDICAP, 59 GRASS) 18 BICYCLE PARKING SPACES</p> <p>PHASE 2: PROVIDED: 80 TOTAL SPACES (77 REGULAR, 12 HANDICAP) TOTAL PARKING PROVIDED PHASES 1&2 = 236 SPACES</p>	<p>PHASE 3: REQUIRED: TO BE DETERMINED PER LDC REQUIREMENTS AT TIME OF DEVELOPMENT</p> <p>PRINCIPLE BUILDING SETBACKS: EXISTING PROPOSED FRONT 217.99' 217.99' SIDE STREET 299.2' 299.2' REAR 25.4' 17.4' SIDE 211.99' 211.99'</p> <p>ACCESSORY STRUCTURE #1 SETBACKS: REAR 11.9' SIDE 180.15'</p> <p>ACCESSORY STRUCTURE #2 SETBACKS: FRONT 222.12' REAR 163.62' SIDE 138.90'</p> <p>LANDSCAPE BUFFER: REQUIRED PROPOSED FRONT 10' 10' REAR 5' 5' SIDE 5' 5'</p>	<p>POOL SETBACKS: FRONT 279.91' REAR 72.77' SIDE 146.86'</p> <p>PUMP HOUSE SETBACKS: REAR 35.91' SIDE 147.11'</p> <p>IMPERVIOUS SURFACE/OPEN SPACE: EXISTING IMPERVIOUS AREA: 96,489 SF (34%) PROPOSED IMPERVIOUS AREA: 126,183 SF (44.4%)</p> <p>EXISTING OPEN SPACE: 187,574 SF (66%) PROPOSED OPEN SPACE: 157,800 SF (55.5%)</p>
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SHEET INDEX

SHEET #	TITLE
C1	DEMOLITION/EROSION CONTROL PLAN
C2A	DIMENSION PLAN
C2B	BUILDING DIMENSION PLAN
C2C	SIGN PLAN & PHASING PLAN
C3A	PAVING, DRAINAGE & UTILITY PLAN
C3B	FIRE CONNECTION METER DETAILS
C4 - C12	CONSTRUCTION DETAILS

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DAYTONA BEACH LAND DEVELOPMENT CODE REQUIREMENTS.
- NO LAND SHALL BE CLEARED, EXCAVATED OR FILLED AND NO STRUCTURE SHALL BE ERECTED, REPAIRED OR DEMOLISHED WITHOUT PROPER PERMITS AS REQUIRED BY THE CITY OF DAYTONA BEACH.
- ANY CONSTRUCTION CHANGES TO APPROVED PLANS SHALL BE SUBMITTED TO THE CITY OF DAYTONA BEACH FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- ROAD CONSTRUCTION AND PIPE INSTALLATION COMPACTON AND DENSITY TESTING SHALL CONFORM TO THE CITY OF DAYTONA BEACH'S MINIMUM REQUIREMENTS. CERTIFIED COPIES OF TEST REPORTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND THE CITY ENGINEERING DIVISION.
- A PRE-PAVING UTILITY INSPECTION MUST BE REQUESTED AND COMPLETED PRIOR TO THE PAVING OF ALL ROADS, STREETS, AND PARKING AREAS.
- A FINAL INSPECTION TO BE CONDUCTED BY THE CITY OF DAYTONA BEACH SHALL BE PERFORMED ON ALL CONSTRUCTION. THE DESIGN ENGINEER SHALL NOTIFY THE CITY OF DAYTONA BEACH ONCE AS-BUILT DRAWINGS AND CLEARANCES HAVE BEEN SUBMITTED.
- A COMPLETE SET OF AS-BUILT DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CITY OF DAYTONA BEACH PRIOR TO REQUESTING A FINAL INSPECTION.
- THE PROPERTY DESCRIBED HEREON IS IN "FLOODHAZARD ZONE X" PER THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 122155 036 H, MAP NUMBER 12212C026H, DATED 19 FEBRUARY, 2014.
- NO CONSTRUCTION ON THE PROPOSED PORTIONS OF THIS PROJECT MAY COMMENCE UNTIL A MANDATORY PRE-CONSTRUCTION MEETING IS HELD WITH THE CITY, AS STATED IN THE APPROVED DEVELOPMENT ORDER FROM THE CITY OF DAYTONA BEACH. ANY CESSATION OF CONTINUOUS ONGOING CONSTRUCTION ON THIS PROJECT OF 90 DAYS OR MORE SHALL REQUIRE THAT ANOTHER PRE-CONSTRUCTION MEETING BE HELD WITH THE CITY PRIOR TO CONTINUATION OF CONSTRUCTION.
- ADDRESS NUMBERS SHALL BE ARABIC NUMERALS. NUMBERS SHALL BE IN A COLOR CONTRASTING WITH THE STRUCTURE OR BACKGROUND SURFACE, AND NOT BE LESS THAN SIX (6) INCHES IN HEIGHT.
- THE ADDRESS NUMBER SHALL BE AFFIXED HORIZONTALLY IN A CONSPICUOUS PLACE ON THE BUILDING SO THAT THE NUMBER IS CLEARLY LEGIBLE FROM THE STREET.
- ELEVATION DATUM REFERS TO NAVD83 BASED ON UNITED STATES COAST & GEODETIC SURVEY DATA PER 122 PUBLISHED ELEVATION + 35 TO CONVERSION FROM NAVD83 TO NAVD83 DATUM (5) (4) 127.

MANDATORY PRE-CONSTRUCTION MEETING NOTE:
NO CONSTRUCTION ON THE PROPOSED PORTIONS OF THIS PROJECT MAY COMMENCE UNTIL A MANDATORY PRE-CONSTRUCTION MEETING IS HELD WITH THE CITY, AS STATED IN THE APPROVED DEVELOPMENT ORDER FROM THE CITY OF DAYTONA BEACH. ANY CESSATION OF CONTINUOUS ON-GOING CONSTRUCTION ON THIS PROJECT OF 90 DAYS OR MORE SHALL TRIGGER A REQUIREMENT FOR ANOTHER PRE-CONSTRUCTION MEETING TO BE HELD WITH THE CITY PRIOR TO CONTINUATION OF THE CONTINUING CONSTRUCTION.

LAND USE CALCULATIONS:

PRE-DEVELOPMENT CONDITIONS:	EXISTING IMPERVIOUS AREA: 96,489 SF (2.21 AC) 34.0%
	EXISTING OPEN SPACE AREA: 187,574 SF (4.31 AC) 66.0%
	TOTAL AREA: 284,063 SF (6.52 AC) 100%
POST-DEVELOPMENT CONDITIONS:	PROPOSED IMPERVIOUS AREA: 126,183 SF (2.90 AC) 44.4%
	PROPOSED OPEN SPACE AREA: 157,800 SF (3.62 AC) 55.6%
	TOTAL AREA: 284,063 SF (6.52 AC) 100%

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
COVER

NO.	DATE	BY
1	01/24/18	AS
2	01/24/18	AS
3	01/24/18	AS
4	01/24/18	AS
5	01/24/18	AS

DATE	SCALE	PROJECT
01/24/18	1"=10'	ISLAMIC CENTER OF DAYTONA BEACH

AMERICAN BUREAU OF ENGINEERS
1100 N. W. 10th Street
Fort Lauderdale, FL 33304

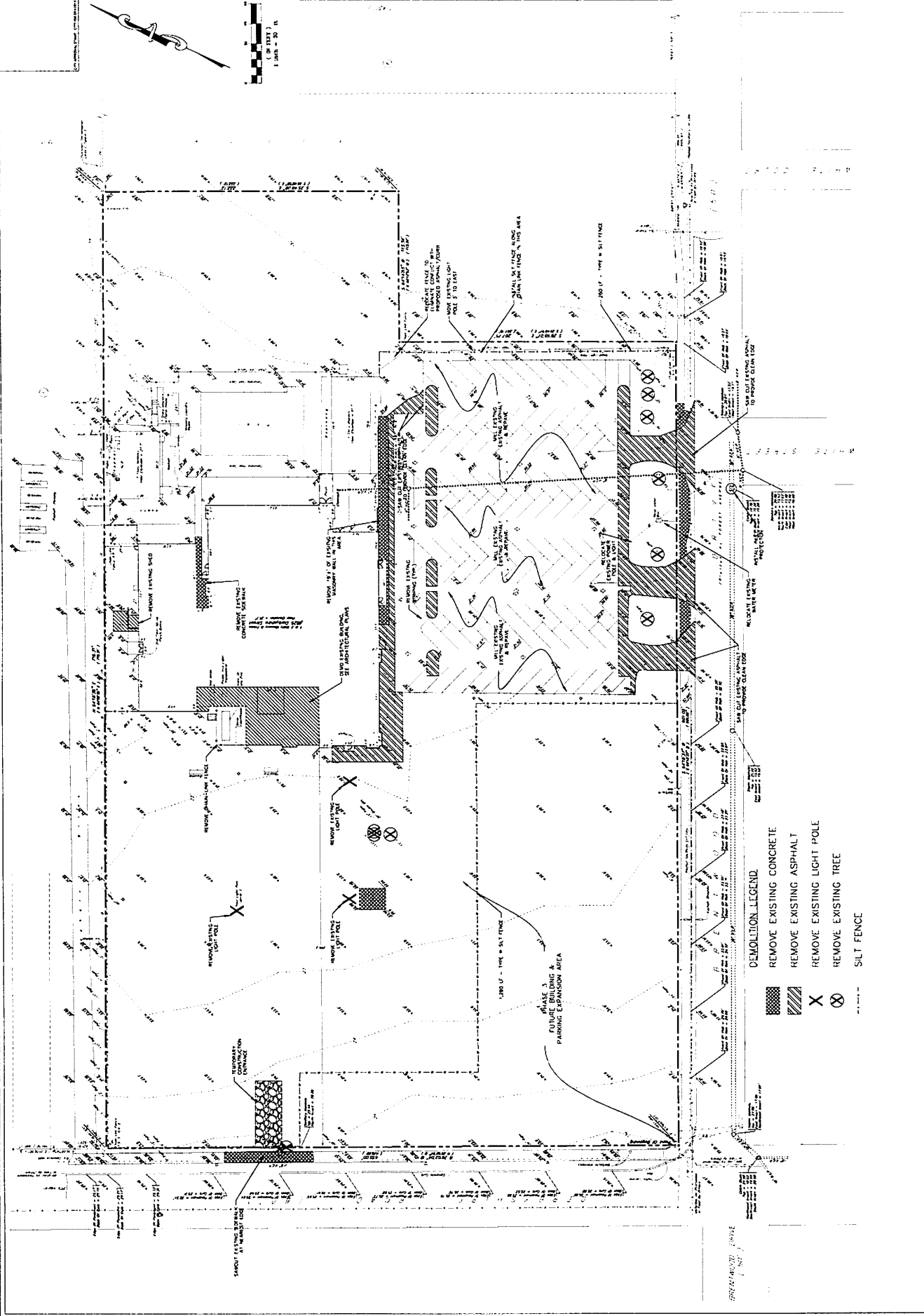
SHEET
OF

NO.	DATE	DESCRIPTION
1	1/27/18	PRELIMINARY
2	2/1/18	REVISED TO ADD COMMENTS
3	2/1/18	REVISED TO ADD COMMENTS
4	2/1/18	REVISED TO ADD COMMENTS
5	2/1/18	REVISED TO ADD COMMENTS

NO.	DATE	DESCRIPTION
1	1/27/18	PRELIMINARY
2	2/1/18	REVISED TO ADD COMMENTS
3	2/1/18	REVISED TO ADD COMMENTS
4	2/1/18	REVISED TO ADD COMMENTS
5	2/1/18	REVISED TO ADD COMMENTS

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
DEMOLITION/EROSION CONTROL PLAN

ALANN ENGINEERING GROUP, INC.
 880 MARSH ROAD, SUITE 113
 DAYTONA BEACH, FL 32114
 TEL: (386) 253-2640
 FAX: (386) 253-1927



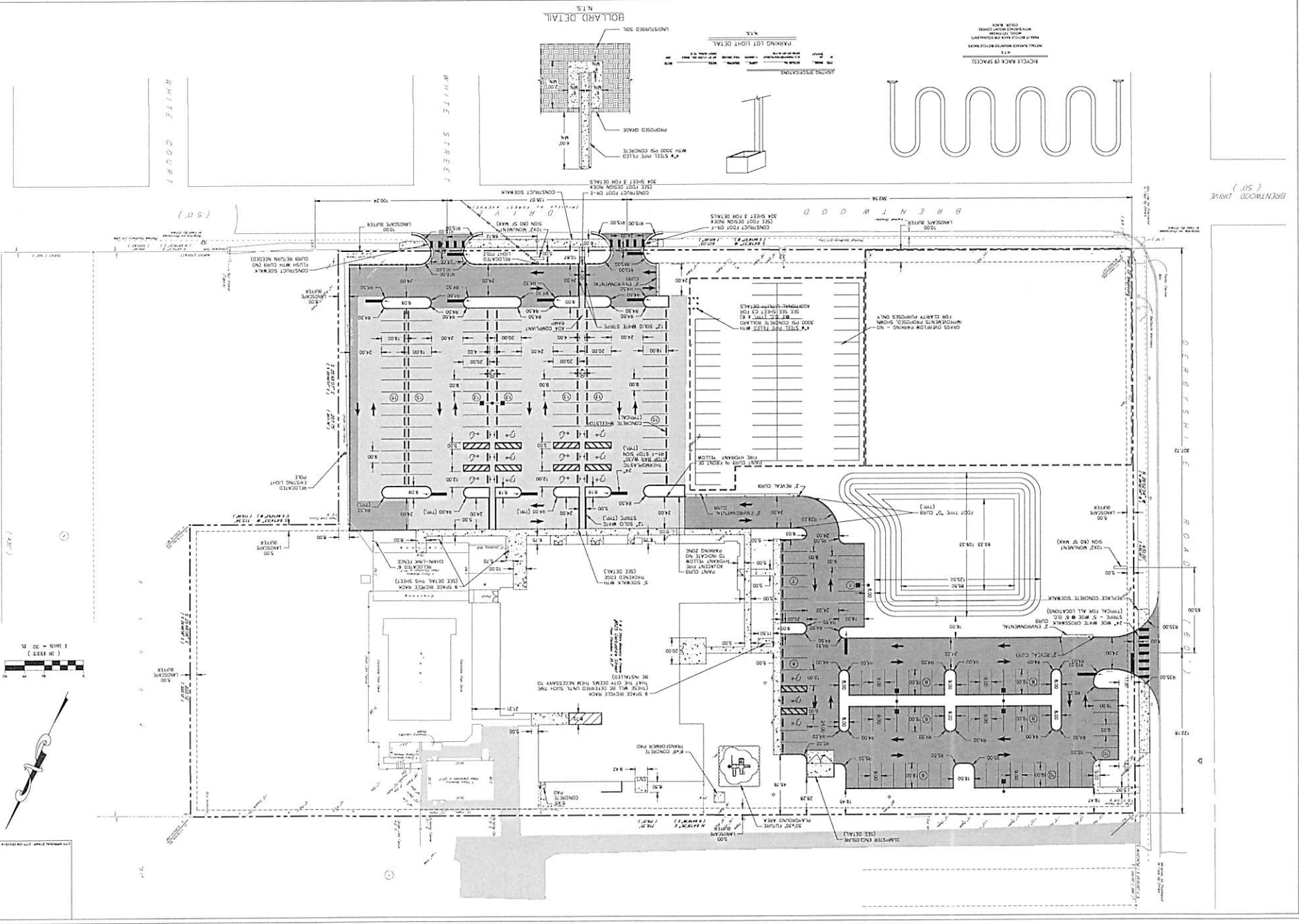
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SCALE	1"=20'
PROJECT	ISLAMIC CENTER OF DAYTONA BEACH, FL
DRAWN BY	WJZ
CHECKED BY	WJZ

NO.	DATE	REVISION
1	1/17/14	REVISION
2	1/21/15	REVISION
3	1/21/15	REVISION
4	1/21/15	REVISION
5	5/27/15	REVISION

NO.	DATE	REVISION
1	1/17/14	REVISION
2	1/21/15	REVISION
3	1/21/15	REVISION
4	1/21/15	REVISION
5	5/27/15	REVISION

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
DIMENSION PLAN

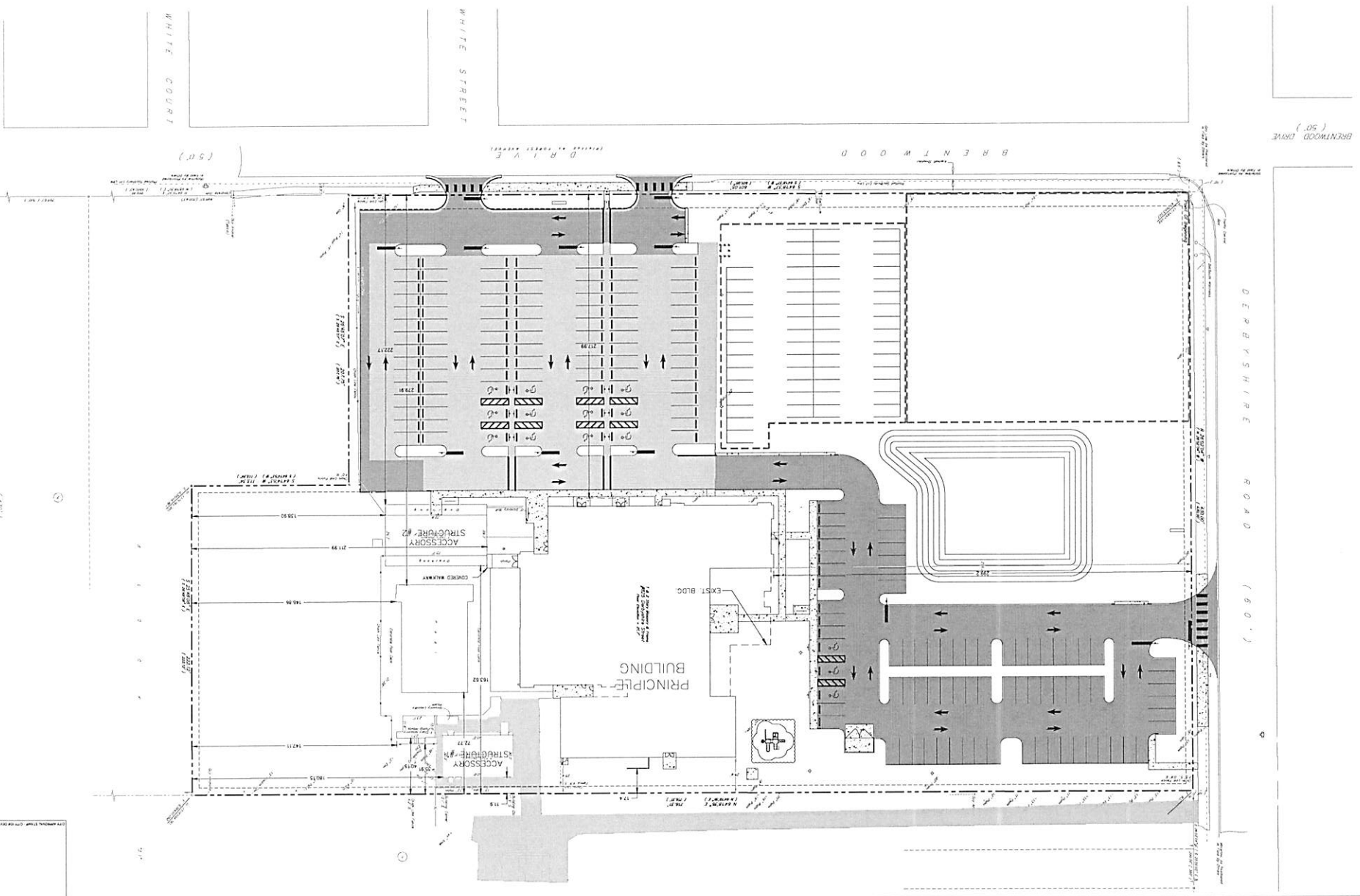
A
ALAIN ENGINEERING GROUP, INC.
CONSTRUCTION SERVICES
885 ARAGON ROAD, SUITE 113
DAYTONA BEACH, FL 32114
TEL: (386) 257-3465
FAX: (386) 257-3917



BRENTWOOD DRIVE (50')

DATE PLOTTED: 11/17/15 10:58 AM

DATE PLOTTED: 11/14/2018 10:58:58 AM



SHEET
C2B OF 12

DATE: 11/14/2018
TIME: 10:58:58 AM

NO.	DATE	REVISION	BY
1	11/14/18	ISSUE FOR PERMIT	AW
2	11/14/18	REVISED	AW
3	11/14/18	REVISED	AW
4	11/14/18	REVISED	AW
5	11/14/18	REVISED	AW

NO.	DATE	REVISION	BY
1	11/14/18	ISSUE FOR PERMIT	AW
2	11/14/18	REVISED	AW
3	11/14/18	REVISED	AW
4	11/14/18	REVISED	AW
5	11/14/18	REVISED	AW

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
BUILDING DIMENSION PLAN

A ALAM ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
885 ABBOTT ROAD, SUITE 113
DAYTONA BEACH, FL 32114
TEL: (386) 253-1927
FAX: (386) 253-1927

DATE: 08/20/2018 10:51:18 AM BY: J. B. W. 2018-08-20 10:51:18 AM

MONUMENT SIGN

SIGN "A"	80 SF TOTAL (60 SF FIXED+ 20 SF CHANGEABLE COPY)
SIGN "B"	60 SF FIXED
SIGN "C"	60 SF FIXED
WALL SIGN	48 SF
SIGN "D"	96 SF
SIGN "E"	96 SF
SIGN "F"	48 SF

MAX. SURFACE AREA 80 SF TOTAL (60 SF FIXED+ 20 SF CHANGEABLE COPY)

MIN. SETBACK 5 FEET

PHASING SCHEDULE:

PHASE 1 SHALL CONSIST OF THE MODIFICATIONS AND ADDITIONS TO THE EXISTING BUILDING AND PARKING AREA, AND SITE AND BUILDING MODIFICATIONS WITHIN THE LIMITS OF THE PHASE 1 AREA OUTLINED ABOVE. LANDSCAPING WILL ONLY BE INSTALLED WITHIN THE PERIMETER OF THE PHASE 1 SCHEDULES FOR COMMENCEMENT AND COMPLETION OF EACH PHASE IS AS STATED IN THE PLANNED DEVELOPMENT AGREEMENT.

PHASE 2 SHALL CONSIST OF THE INSTALLMENT OF ALL THE REST OF THE PERIMETER LANDSCAPING AS SHOWN ON THE LANDSCAPE PLANS. IT SHALL ALSO CONSIST OF THE INSTALLMENT OF A STORM WATER POND, PLAYGROUND, AND PARKING LOT EXPANSION AS SHOWN WITHIN THE LIMITS OF PHASE 2 OUTLINED ABOVE.

PHASE 3 SHALL BE LIMITED TO A FUTURE BUILDING, ASSOCIATED PARKING AND STORM-WATER TO BE LOCATED WITHIN THE LIMITS OF THE PHASE 3 AREA OUTLINED ABOVE.

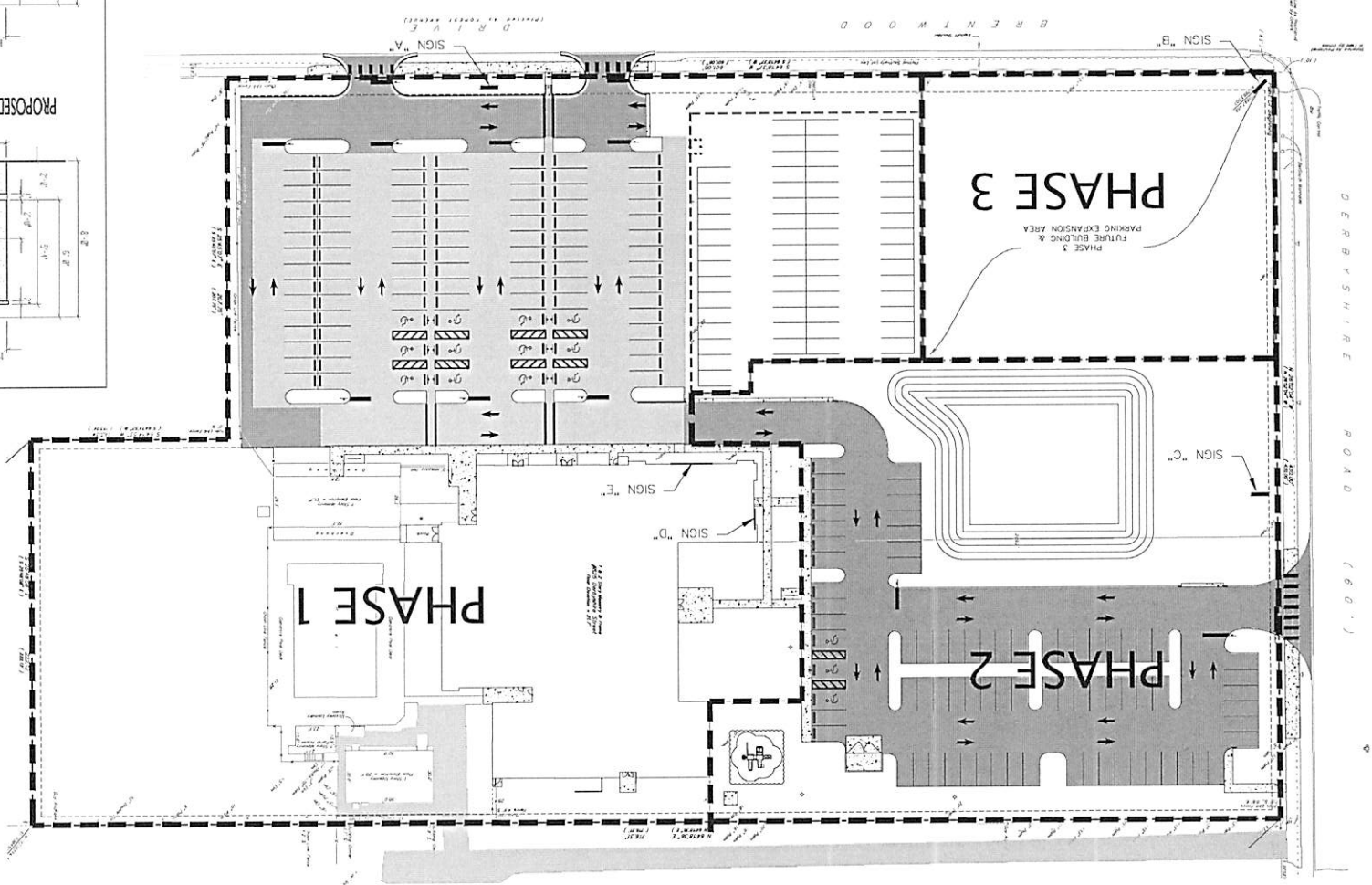
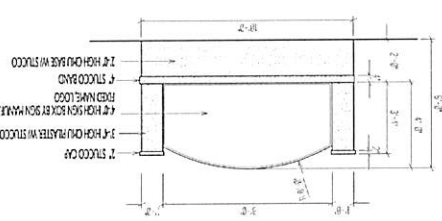
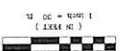
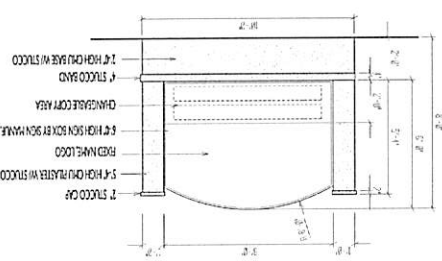


EXHIBIT E

PROPOSED CONCEPTUAL SIGN ELEVATION (DERBYSHIRE)



PROPOSED CONCEPTUAL SIGN ELEVATION (BRENTWOOD)

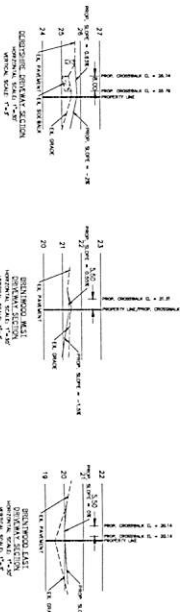
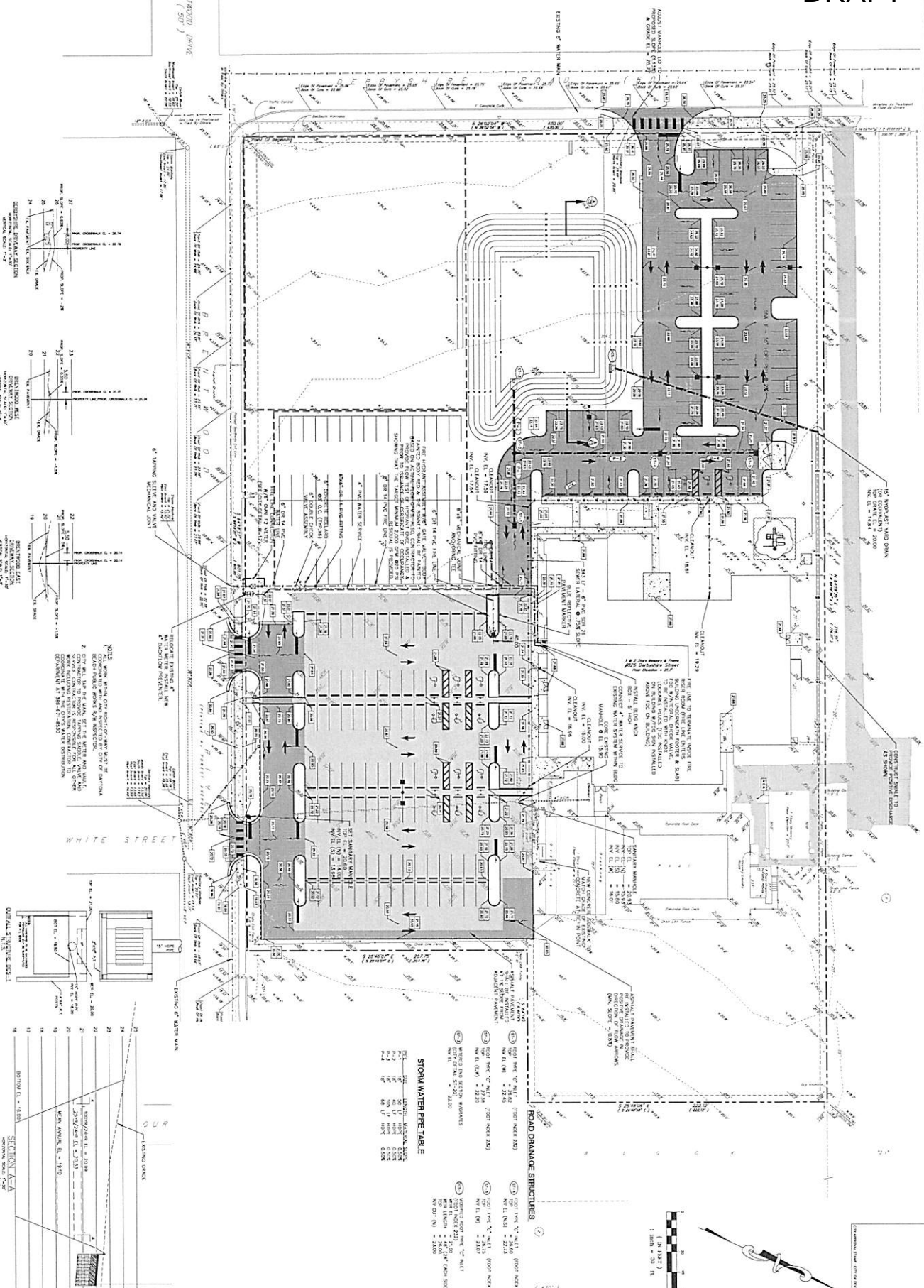


DATE	SCALE	PROJECT	DRAWN BY	CHECKED BY
11/20/18	1/8" = 1'-0"	18111	WJZ	WJZ

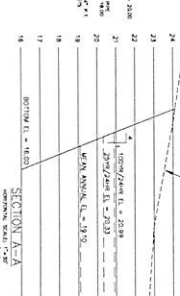
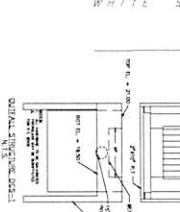
NO.	DATE	REVISION	BY
1	11/20/18	REVISION	WJZ
2	11/20/18	REVISION	WJZ
3	11/20/18	REVISION	WJZ
4	11/20/18	REVISION	WJZ
5	11/20/18	REVISION	WJZ

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
SIGN PLAN & PHASING PLAN

A ALAMIN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
850 ABOUT BOWL ROAD, SUITE 113
DAYTONA BEACH, FL 32118
TEL: (386) 273-1927



NOTE: 1. SHOW WITH CITY ENGINEER AND CITY ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 2. CITY WILL TAKE THE MAINTENANCE OF THE SIDEWALKS AND CURBS UNDER THE CITY'S JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SIDEWALKS AND CURBS UNDER THE CONTRACTOR'S JURISDICTION.



STORM WATER PPE TABLE

SIZE	LENGTH	WIDTH	DEPTH	INLET
18"	10'	18"	18"	18"
24"	10'	24"	24"	24"
30"	10'	30"	30"	30"
36"	10'	36"	36"	36"
42"	10'	42"	42"	42"
48"	10'	48"	48"	48"

ROAD DRAINAGE STRUCTURES

1	100' x 10' x 18"	18"	18"
2	100' x 10' x 24"	24"	24"
3	100' x 10' x 30"	30"	30"
4	100' x 10' x 36"	36"	36"
5	100' x 10' x 42"	42"	42"
6	100' x 10' x 48"	48"	48"



SHEET
C3A OF 12

DESIGNER	FILE	DATE
KAB	1401-1	4/15/2014

DRAWN BY	PROJECT	SCALE
MAZ	1401-1	1"=10'

NO.	DATE	REVISION
5	8/3/8	PER CITY RAI
4	6/17/8	PER CITY RAI
3	1/24/78	111 AMENDMENT TO PDC
2	5/17/75	PER CITY RAI
1	1/17/74	PER CITY RAI

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
PAVING, GRADING, DRAINAGE PLAN

ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. 185479
 880 AIRPORT ROAD, SUITE 113
 DAYTONA BEACH, FL 32174
 TEL: (386) 629-7460
 FAX: (386) 678-1927

DRAFT

DESCRIPTION
 Fire Connection Details
 Fire Connection Details



CONNECTIONS TO STRUCTURES:
 The OMNIFIT 4" Fire Connection is designed to be installed in a concrete wall or ceiling. The connection is made by using a 1/2" diameter anchor bolt. The anchor bolt is inserted into a hole drilled in the concrete. The OMNIFIT 4" Fire Connection is then attached to the anchor bolt. The OMNIFIT 4" Fire Connection is designed to be installed in a concrete wall or ceiling. The connection is made by using a 1/2" diameter anchor bolt. The anchor bolt is inserted into a hole drilled in the concrete. The OMNIFIT 4" Fire Connection is then attached to the anchor bolt.

INSTALLATION:
 The OMNIFIT 4" Fire Connection is designed to be installed in a concrete wall or ceiling. The connection is made by using a 1/2" diameter anchor bolt. The anchor bolt is inserted into a hole drilled in the concrete. The OMNIFIT 4" Fire Connection is then attached to the anchor bolt.

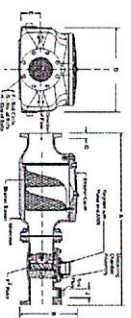
OPERATION:
 The OMNIFIT 4" Fire Connection is designed to be installed in a concrete wall or ceiling. The connection is made by using a 1/2" diameter anchor bolt. The anchor bolt is inserted into a hole drilled in the concrete. The OMNIFIT 4" Fire Connection is then attached to the anchor bolt.

MAINTENANCE:
 The OMNIFIT 4" Fire Connection is designed to be installed in a concrete wall or ceiling. The connection is made by using a 1/2" diameter anchor bolt. The anchor bolt is inserted into a hole drilled in the concrete. The OMNIFIT 4" Fire Connection is then attached to the anchor bolt.

WARRANTY:
 The OMNIFIT 4" Fire Connection is designed to be installed in a concrete wall or ceiling. The connection is made by using a 1/2" diameter anchor bolt. The anchor bolt is inserted into a hole drilled in the concrete. The OMNIFIT 4" Fire Connection is then attached to the anchor bolt.



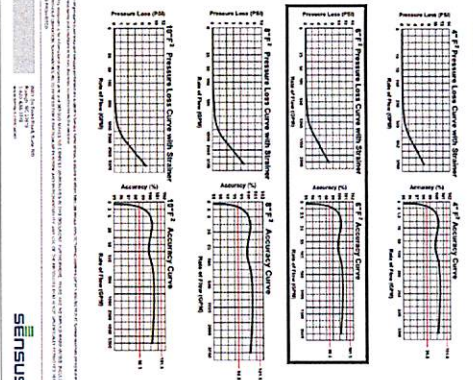
OMNIFIT 4", 5" and 6"



DIMENSIONS AND WEIGHTS		SPECIFICATIONS	
Model	OMNIFIT 4"	Material	Cast Iron
Weight	15 lbs	Finish	Black
Height	12" (to top)	Pressure Rating	150 psi
Width	6"	Temperature Range	-20 to 200 F
Depth	6"	Flow Rate	10 gpm
Thread	1/2" NPT	Connection Type	Threaded
Material	Cast Iron	Installation	Concrete Wall/Ceiling
Finish	Black	Warranty	1 Year
Pressure Rating	150 psi	Temperature Range	-20 to 200 F
Temperature Range	-20 to 200 F	Flow Rate	10 gpm
Flow Rate	10 gpm	Connection Type	Threaded
Connection Type	Threaded	Installation	Concrete Wall/Ceiling
Installation	Concrete Wall/Ceiling	Warranty	1 Year
Warranty	1 Year		



OMNIFIT 4", 5" and 6"



OMNIFIT 4", 5" and 6"

ISLAMIC CENTER OF DAYTONA BEACH
 DAYTONA BEACH, FL
 FIRE CONNECTION METER DETAILS

ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. ER0479
 880 AIRPORT ROAD, SUITE 113
 DAYTONA BEACH, FL 32114
 TEL: (386) 673-7660
 FAX: (386) 673-3927

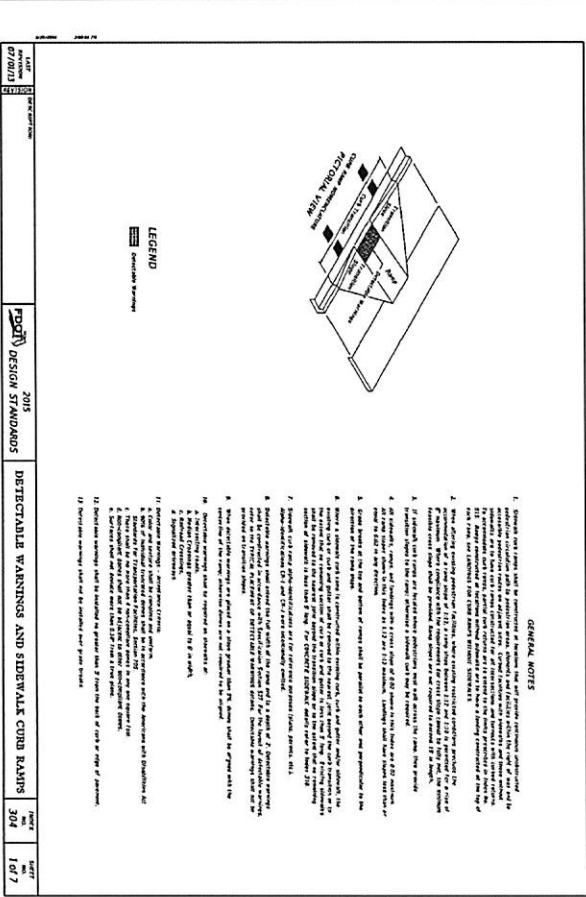
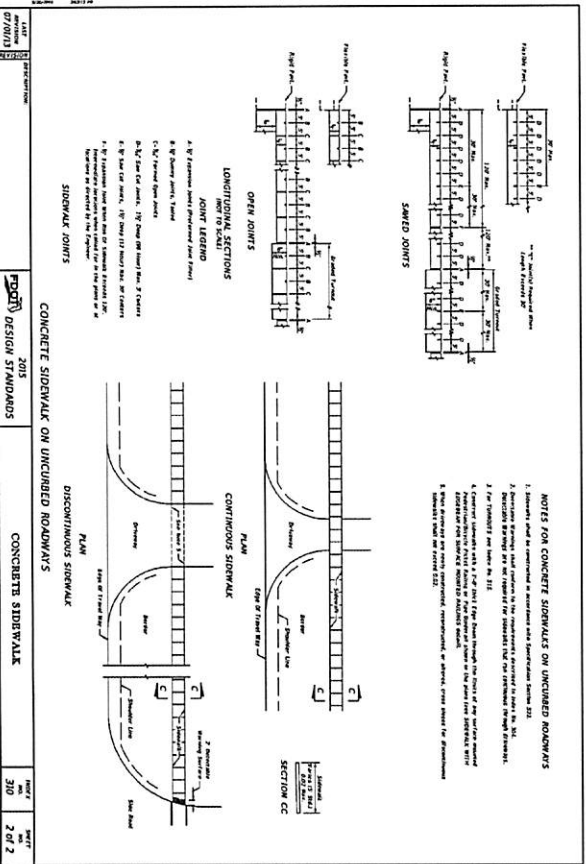
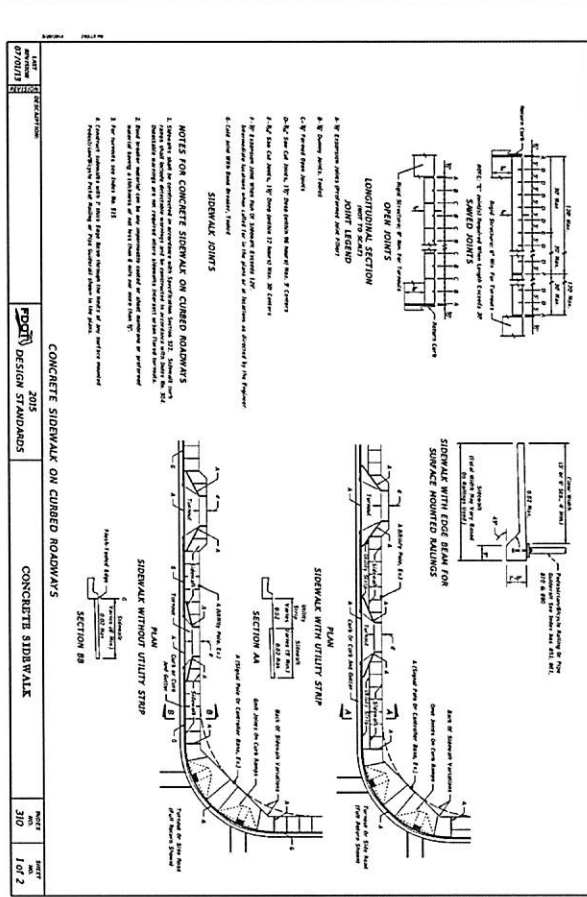
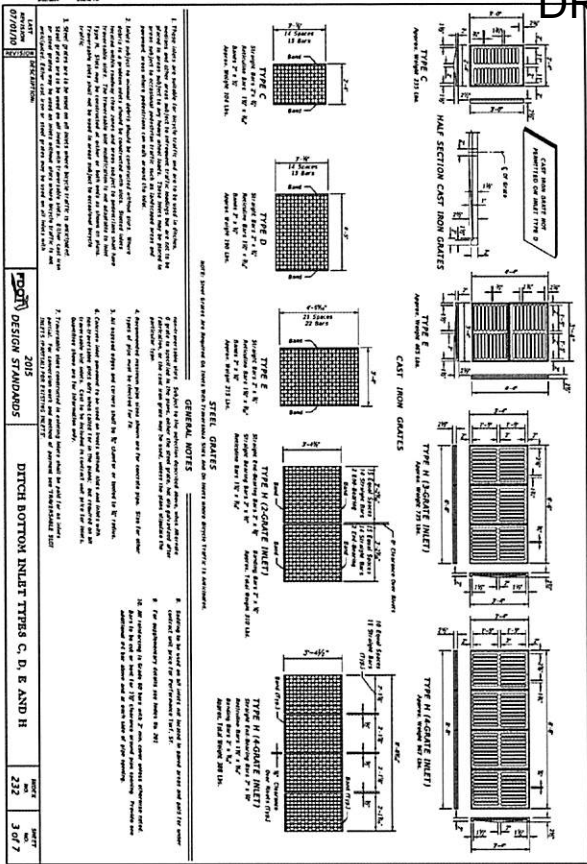
NO	DATE	REVISION	BY
5	6/3/18	PER CITY RAI	KAB
4	6/18/18	PER CITY RAI	KAB
3	5/24/18	1st AMENDMENT TO PD-C	KAB
2	5/18/15	PER CITY RAI	MZ
1	11/8/14	PER CITY RAI	MZ

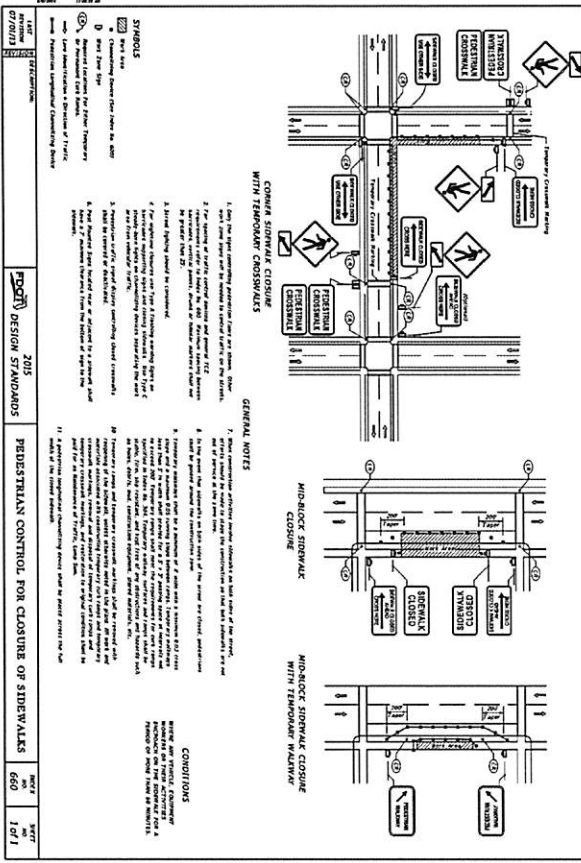
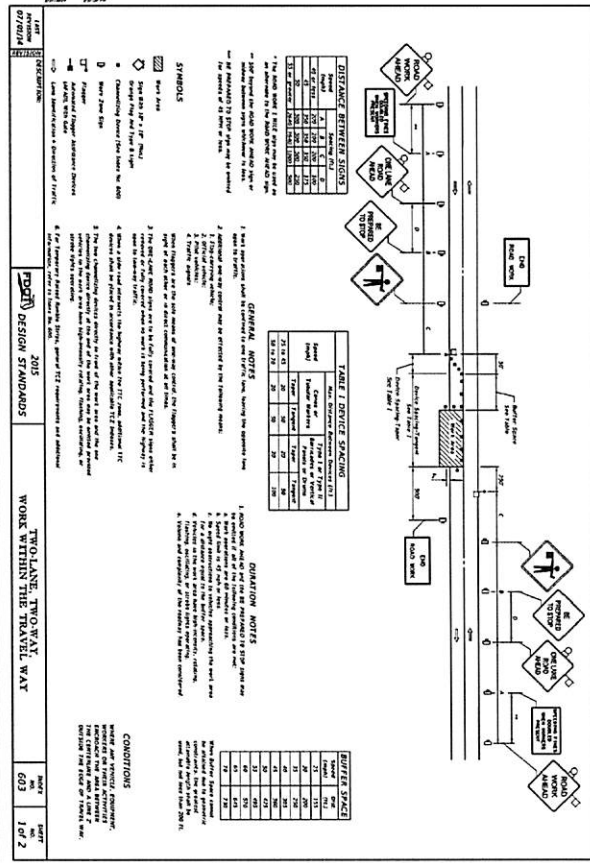
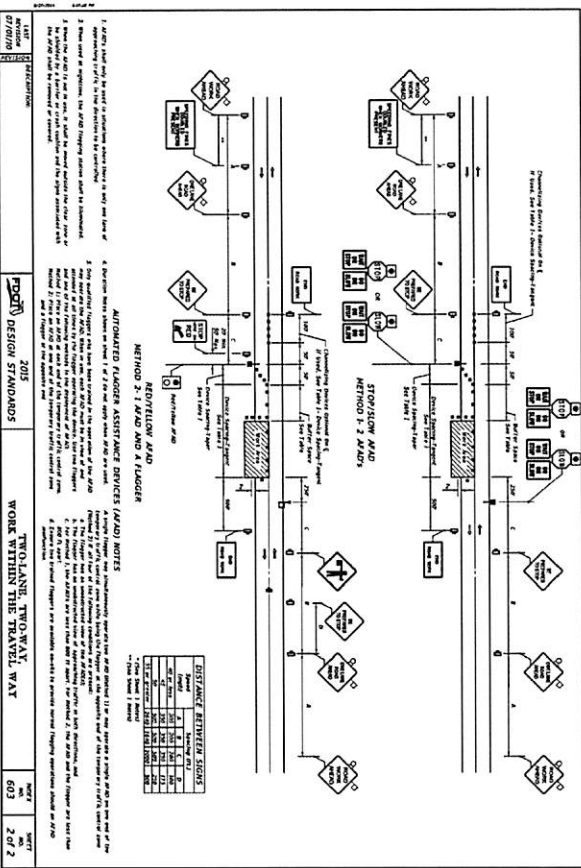
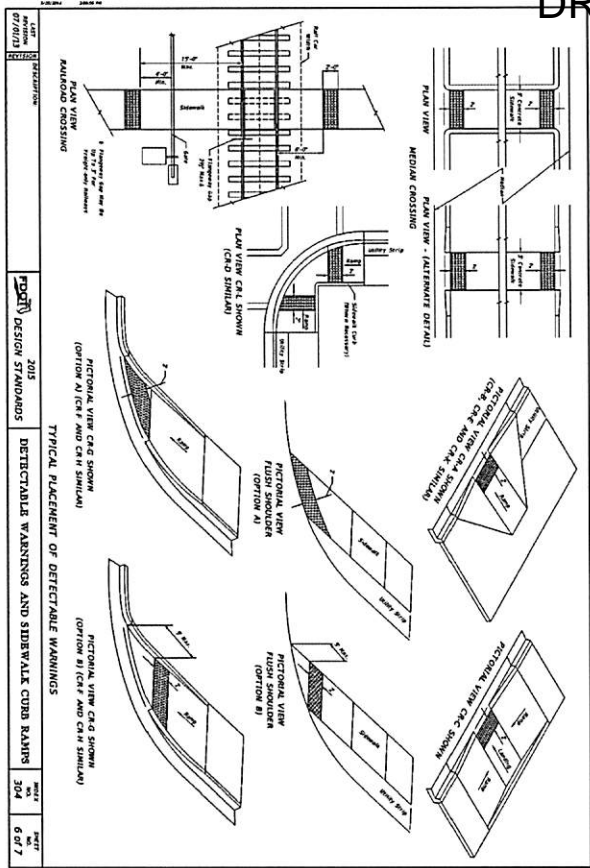
DESIGNER	FILE	DATE
KAB	T401-1	4/15/2014

DRAWN BY	PROJECT	SCALE
MZ	T401-1	1"=30"

DESIGNER: KAB
 FILE: T401-1
 DATE: 4/15/2014

DRAWN BY: MZ
 PROJECT: T401-1
 SCALE: 1"=30"





ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE No. 881479
880 AIRPORT ROAD, SUITE 113
DAYTONA BEACH, FL 32114
TEL: (386) 673-7540
FAX: (386) 673-3927

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
CONSTRUCTION DETAILS

DESIGNER	KAR	DATE	4/15/2014
DRAWN BY	MZ	PROJECT	1401-1
SCALE: 1"=30'			

NO.	DATE	REVISION	BY
5	8/31/8	PER CITY RAI	KAR
4	6/18/10	PER CITY RAI	KAR
3	11/18/14	PER CITY RAI	MZ

ALANN ENGINEERING CONSULTING ENGINEERS 880 AIRBORNE BOULEVARD SUITE 113 DAYTONA BEACH, FL 32114 TEL: (386) 873-7600 FAX: (386) 873-3927



ISLAMIC CENTER OF DAYTONA BEACH DAYTONA BEACH, FL CONSTRUCTION DETAILS

STORMWATER CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION AND SEGMENT AND EROSION CONTROL METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY, FDEP, FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FOOT DESIGN STANDARDS (LATEST EDITION).

THE CITY OF DAYTONA BEACH ENGINEERING DIVISION STORMWATER CONSTRUCTION NOTES (PAGE 1 OF 4) ST-1

STORMWATER CONSTRUCTION NOTES (CONT'D)

- 10. IN GENERAL, ALL RETENTION/RETENTION SITES MUST BE CONSTRUCTED AND MAINTAINED AS NECESSARY ON ALL PROJECTS PRIOR TO ANY ROAD, PARKING LOT, OR BUILDING CONSTRUCTION COMMENCING ON AN EXISTING PAVED SURFACE. BEFORE ANY WATER MAINS ARE INSTALLED PRIOR TO RETENTION/RETENTION SITE CONSTRUCTION IF DRAINAGE IS NOT REQUIRED, HOWEVER BMP'S FOR EROSION AND SEGMENT CONTROL WILL BE IMPLEMENTED AS NECESSARY.

THE CITY OF DAYTONA BEACH ENGINEERING DIVISION STORMWATER CONSTRUCTION NOTES (PAGE 2 OF 4) ST-2

STORMWATER CONSTRUCTION NOTES (CONT'D)

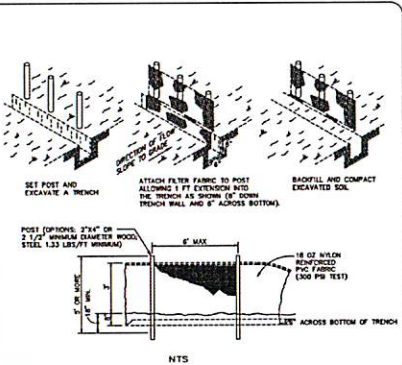
- 22. THE CITY MAY REQUEST THAT THE DEVELOPER SUBMIT A REPORT BY A QUALIFIED HYDROLOGIST OR HYDROGEOLOGIST ON THE IMPACT THE WEIR WILL HAVE ON NEIGHBORING WATER TABLE ELEVATIONS BOTH DURING CONSTRUCTION AND AFTER LAKE COMPLETION. THE CITY MAY REQUIRE ORIGINATOR MONITORING DURING THE LAKES DEWATERING.

THE CITY OF DAYTONA BEACH ENGINEERING DIVISION STORMWATER CONSTRUCTION NOTES (PAGE 3 OF 4) ST-3

STORMWATER CONSTRUCTION NOTES (CONT'D)

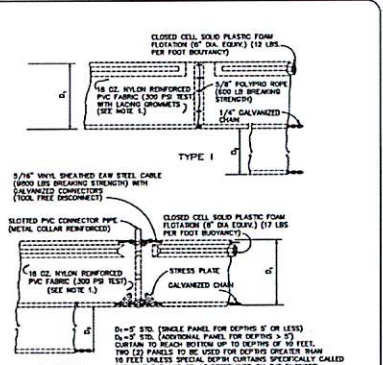
- 31. STORM INLETS SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF WITHOUT EXCEEDING THE FLOW OF TRAFFIC FOR ROADWAY SECTIONS WITH DESIGN SPEEDS OF 45 MPH AND LESS AND WITHOUT FULL WIDTH SHOULDER SPREAD RESULTING FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR SHALL NOT EXCEED ONE-HALF OF THE TRAVEL LANE ADJACENT TO THE OUTER FOR SITE PLANS.

THE CITY OF DAYTONA BEACH ENGINEERING DIVISION STORMWATER CONSTRUCTION NOTES (PAGE 4 OF 4) ST-4



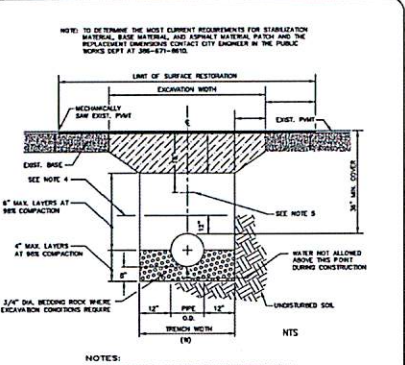
- NOTE: 1. MATERIALS, CONSTRUCTION METHODS AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND DESIGN STANDARDS CURRENT EDITION.

THE CITY OF DAYTONA BEACH ENGINEERING DIVISION STANDED SILT FENCE DETAIL ST-8



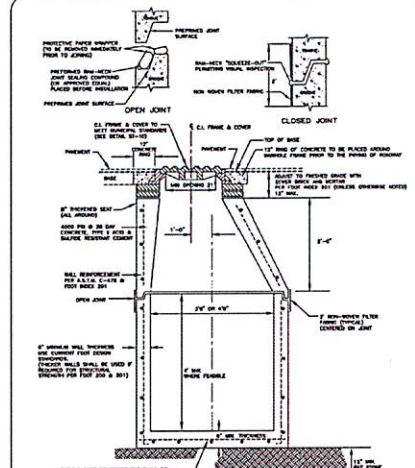
- NOTE: 1. USE 1/2" DIA. WILON REINFORCED PVC FABRIC FOR STANDING WATER. USE FILTER FABRIC FOR FLOWING WATER.

THE CITY OF DAYTONA BEACH ENGINEERING DIVISION FLOATING TURBIDITY BARRIER DETAIL ST-10



- NOTE: 1. WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN FABRIC SHOULD APPROXIMATE METHOD OF CONSTRUCTION.

THE CITY OF DAYTONA BEACH UTILITIES DEPARTMENT PAYMENT CUT AND PATCH DETAIL ST-14



THE CITY OF DAYTONA BEACH ENGINEERING DIVISION STORMWATER MANHOLE DETAIL ST-15

Table with columns: NO., DATE, FILE, SHEET, DESIGNER, DRAWN BY, CHECKED BY, SCALE, PROJECT, DATE.

Table with columns: NO., DATE, FILE, SHEET, DESIGNER, DRAWN BY, CHECKED BY, SCALE, PROJECT, DATE.

AS-BUILTS/RECORD DOCUMENTS
(CONT'D)

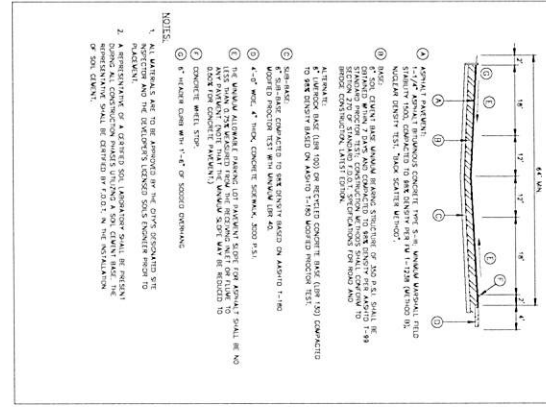
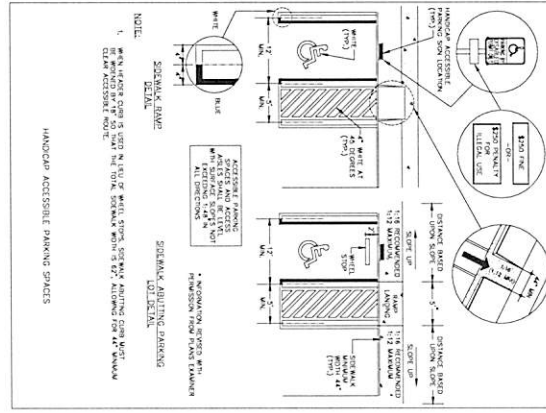
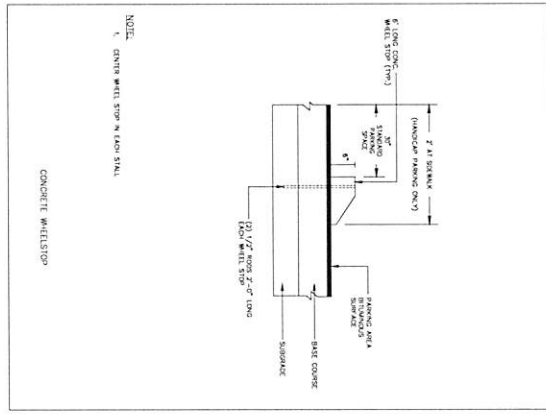
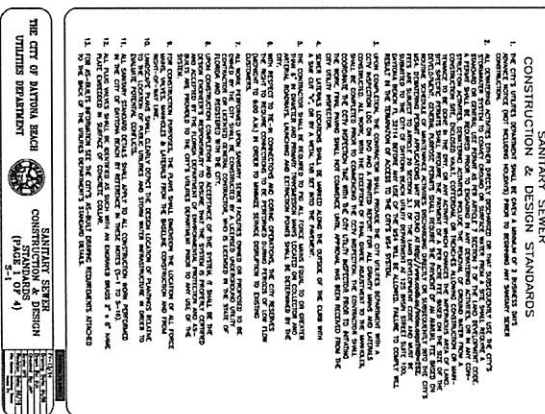
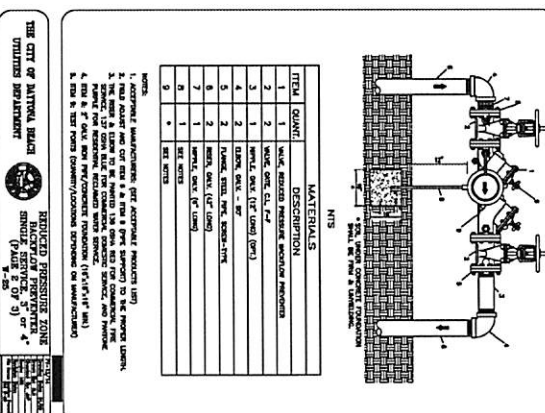
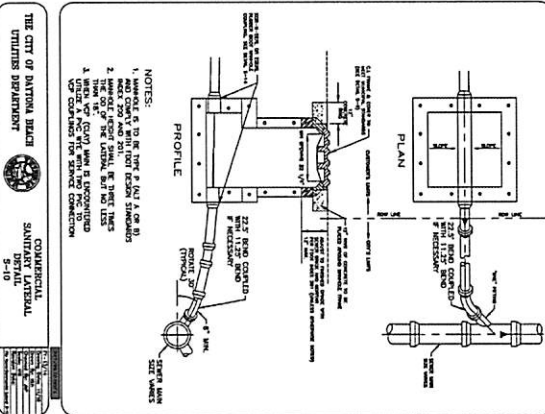
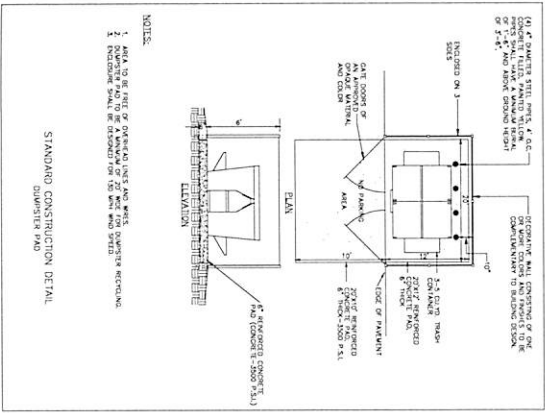
PART 2 - EXECUTION

21.1. GENERAL
All work shall be in accordance with the specifications and shall be installed and tested to ensure accurate AS-BUILT RECORD DRAWINGS shall be provided by the CONTRACTOR.

- A. It is acceptable to the CITY if the contractor utilizes an after the fact approach to collecting and verifying the location and depth by vertical PVC pipes placed by the CONTRACTOR. The CONTRACTOR shall submit the As-Built conditions and certify the RECORD DRAWINGS.
- B. The CITY'S REPRESENTATIVE shall not be considered the best source of information for site location. The CONTRACTOR shall be responsible for providing the best source of information for site location. The CONTRACTOR shall be responsible for providing the best source of information for site location. The CONTRACTOR shall be responsible for providing the best source of information for site location.
- C. THE CONTRACTOR SHALL PROVIDE THE UTILITIES DEPARTMENT ENGINEERING DIVISION THE FINAL AS-BUILT RECORD DRAWINGS BE PREPARED AND PRESENTED IN MODEL SPACE DRAWING AUTOCAD FORMAT 2007 OR LATER. THE MODEL SPACE DRAWING SHALL BE IN FLAT FILE STATE PLANE AND SHALL BE ABLE TO BE INSERTED INTO THE CITY'S EXISTING AS-BUILT RECORD DRAWINGS. A DISCLAIMER MAY BE ALLOWED BY STATE OF FLORIDA REGULATIONS. A DISCLAIMER MAY BE NOTED IN A TRANSMITTAL LETTER PLUS THE SURVEYOR MAY ADD A SPECIAL NOTICE ON EACH SHEET REGARDING THE CONTRACTOR'S RESPONSIBILITY SHOULD IN THE FUTURE SURVEYOR MODIFY THE DWYLLS.
- D. Identify the source markers for the survey used for Record Drawings.

THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT

AS-BUILT DRAWING
(SECTION 2 OF 4)



NO.	DATE	REVISION
1	8/31/18	PER CITY (M)
2	6/18/18	PER CITY (RA)
3	1/18/14	PER CITY (RA)

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
CONSTRUCTION DETAILS

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. 18153-S
880 AIRPORT ROAD, SUITE 113
DAYTONA BEACH, FL 32114
TEL: (386) 673-7865
FAX: (386) 673-1927

The City of Daytona Beach Utilities Department
List of Acceptable Products
March 2017

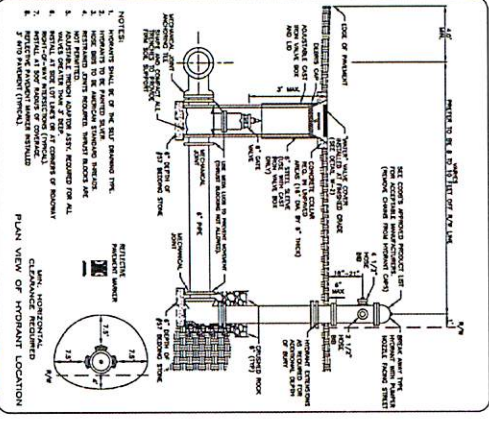
- Sanitary Sewer**
- Drainage Material**
1. EBMW
 2. Metrolux
 3. Proso
- DPZ Street Drains**
1. US Pipe
 2. Kwik Form
- Standard Plastic DPZ**
1. American
 2. EBMW Inc.
 3. Ford
 4. Sore
 5. US Pipe
 6. Siga
 7. Siga
 8. Siga
 9. US Pipe/Vulcan
 10. US Pipe
- Standard Cast Iron DPZ**
1. American Flow Control
 2. Chew
 3. Siga
 4. Siga
 5. Siga
 6. KCM
 7. SGT Industries
- Standard Riser**
1. Siga
 2. Siga
 3. Siga
 4. Siga
 5. SGT Industries
- Category 4 of 4: MANHOLE ACCESSORIES**
- Rubber Compounds**
1. 1026
- DPZ Manhole Adapters**
1. Harrison Corp.
- Manhole Lids, Frames & Covers**
1. US Economy
 2. East Jordan Iron Works
 3. US Iron Works
- Manhole Ladders**
1. KCM-Steel
 2. Harrison Pipe Co.
 3. US Economy
 4. Aprafast Step-Up
- PVC Sewer Adapters**
1. Siga
 2. Siga
 3. Siga
 4. Siga
 5. Siga

(Page 5 of 6)

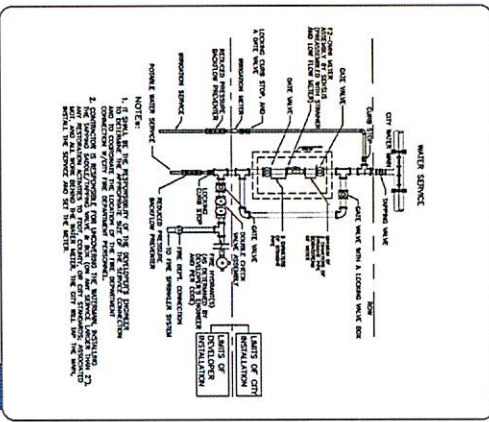
The City of Daytona Beach Utilities Department
List of Acceptable Products
March 2017

- Sanitary Sewer**
- Rubber Compounds**
1. 1026
- Category 4 of 4: MANHOLE ACCESSORIES**
- DPZ Manhole Adapters**
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- Manhole Ladders**
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 3. US Economy
 4. Aprafast Step-Up
- PVC Sewer Adapters**
1. Siga
 2. Siga
 3. Siga
 4. Siga
 5. Siga

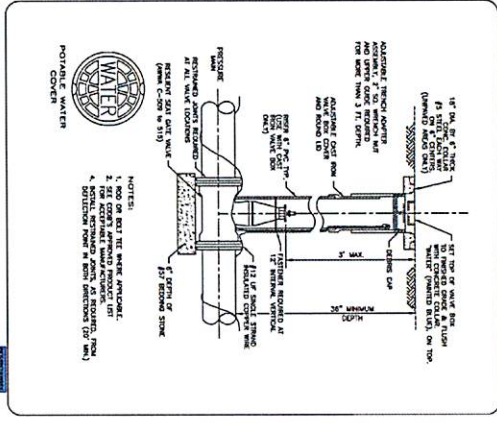
(Page 6 of 6)



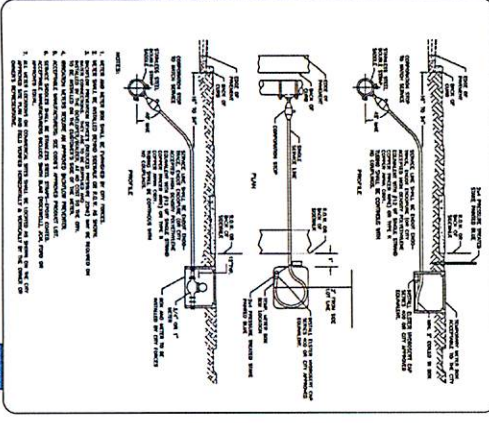
THE CITY OF DAYTONA BEACH UTILITIES DEPARTMENT
FIRE HYDRANT
ASSIGNMENT
8-18



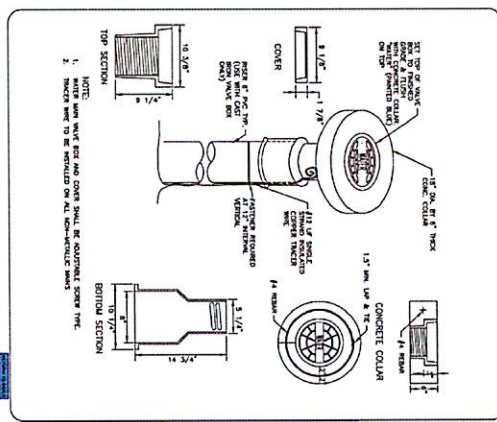
THE CITY OF DAYTONA BEACH UTILITIES DEPARTMENT
FIRE/DEMOLITION/RELOCATION
DETAIL
8-17



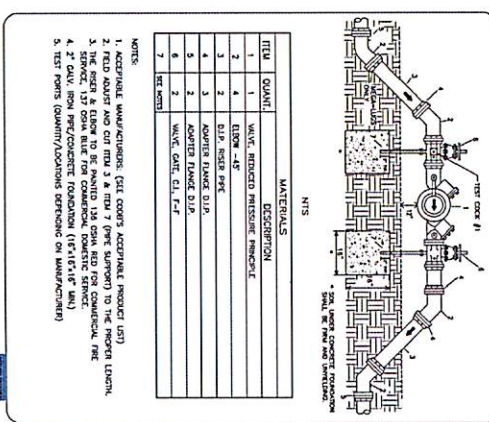
THE CITY OF DAYTONA BEACH UTILITIES DEPARTMENT
WATER VALVE AND
DETAIL
8-18



THE CITY OF DAYTONA BEACH UTILITIES DEPARTMENT
WATER SERVICE ZONE
(PAGE 1 OF 2)
8-18



THE CITY OF DAYTONA BEACH UTILITIES DEPARTMENT
MAIN WATER BOX
DETAIL
8-18



THE CITY OF DAYTONA BEACH UTILITIES DEPARTMENT
REDUCED PRESSURE ZONE
DETAIL
8-18

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
CONSTRUCTION DETAILS

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. 88479
880 AIRPORT ROAD, SUITE 113
DAYTONA BEACH, FL 32114
TEL: (386) 673-7640
FAX: (386) 673-3927

SHEET
C11 of 12

DESIGNER	DATE	SCALE
KAB	4/7/2014	1"=10'
MZ	1/21/14	1"=10'

NO.	DATE	REVISION
5	8/5/18	PER CITY RAJ
1	6/18/18	PER CITY RAJ
1	1/18/14	PER CITY RAJ

CONSTRUCTION DETAILS

1. GENERAL NOTES

2. MATERIALS

3. FINISHES

4. DIMENSIONS

5. TOLERANCES

6. INSTALLATION

7. MAINTENANCE

8. SAFETY

9. ENVIRONMENTAL

10. ACCESSIBILITY

11. SCHEDULING

12. QUALITY CONTROL

13. DOCUMENTATION

14. COMMUNICATION

15. RISK MANAGEMENT

16. SUSTAINABILITY

17. INNOVATION

18. FLEXIBILITY

19. SCALABILITY

20. SECURITY

21. COMPLIANCE

22. EFFICIENCY

23. EFFECTIVENESS

24. RELIABILITY

25. DURABILITY

26. SAFETY

27. HEALTH

28. ENVIRONMENT

29. SOCIETY

30. ECONOMY

31. CULTURE

32. POLITICS

33. LAW

34. ETHICS

35. MORALS

36. VALUES

37. BELIEFS

38. OPINIONS

39. ATTITUDES

40. BEHAVIORS

41. ACTIONS

42. REACTIONS

43. RESPONSES

44. FEELINGS

45. THOUGHTS

46. IDEAS

47. CONCEPTS

48. THEORIES

49. MODELS

50. FRAMEWORKS

51. PARADIGMS

52. PERSPECTIVES

53. VIEWS

54. POINTS OF VIEW

55. STANDPOINTS

56. POSITIONS

57. LOCATIONS

58. PLACES

59. SPACES

60. AREAS

61. ZONES

62. REGIONS

63. TERRITORIES

64. DOMAINS

65. SPHERES

66. CIRCLES

67. SPHERES

68. SPHERES

69. SPHERES

70. SPHERES

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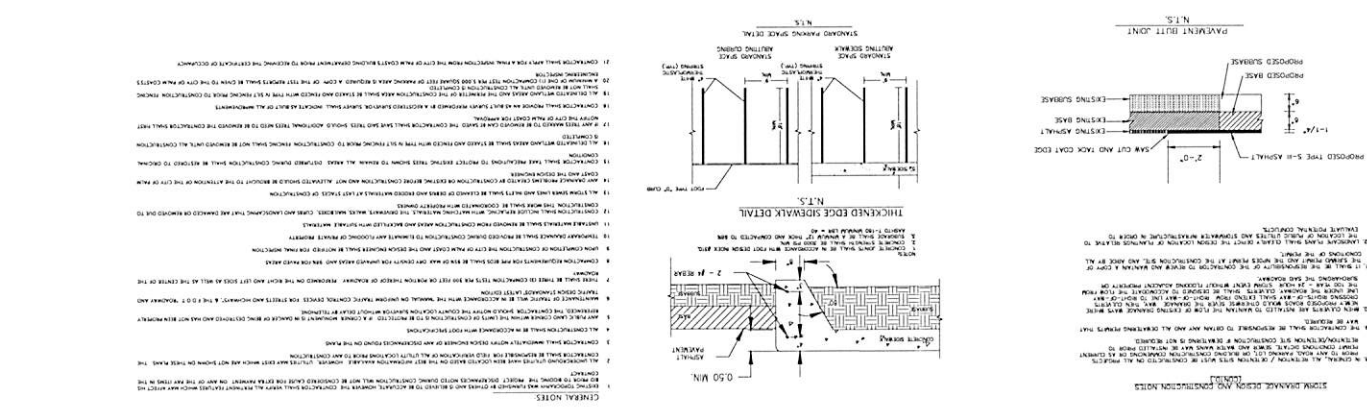
100. SPHERES



ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
CONSTRUCTION DETAILS



ATAIN ENGINEERING GROUP, INC.
CONSTRUCTION DETAILS
8500 W. UNIVERSITY BLVD., SUITE 113
DAYTONA BEACH, FL 32117
TEL: (386) 253-9272
FAX: (386) 253-9272



CONSTRUCTION DETAILS

1. GENERAL NOTES

2. MATERIALS

3. FINISHES

4. DIMENSIONS

5. TOLERANCES

6. INSTALLATION

7. MAINTENANCE

8. SAFETY

9. ENVIRONMENTAL

10. ACCESSIBILITY

11. SCHEDULING

12. QUALITY CONTROL

13. DOCUMENTATION

14. COMMUNICATION

15. RISK MANAGEMENT

16. SUSTAINABILITY

17. INNOVATION

18. FLEXIBILITY

19. SCALABILITY

20. SECURITY

21. COMPLIANCE

22. EFFICIENCY

23. EFFECTIVENESS

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25. DURABILITY

26. SAFETY

27. HEALTH

28. ENVIRONMENT

29. SOCIETY

30. ECONOMY

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43. RESPONSES

44. FEELINGS

45. THOUGHTS

46. IDEAS

47. CONCEPTS

48. THEORIES

49. MODELS

50. FRAMEWORKS

51. PARADIGMS

52. PERSPECTIVES

53. VIEWS

54. POINTS OF VIEW

55. STANDPOINTS

56. POSITIONS

57. LOCATIONS

58. PLACES

59. SPACES

60. AREAS

61. ZONES

62. REGIONS

63. TERRITORIES

64. DOMAINS

65. SPHERES

66. CIRCLES

67. SPHERES

68. SPHERES

69. SPHERES

70. SPHERES

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97. SPHERES

98. SPHERES

99. SPHERES

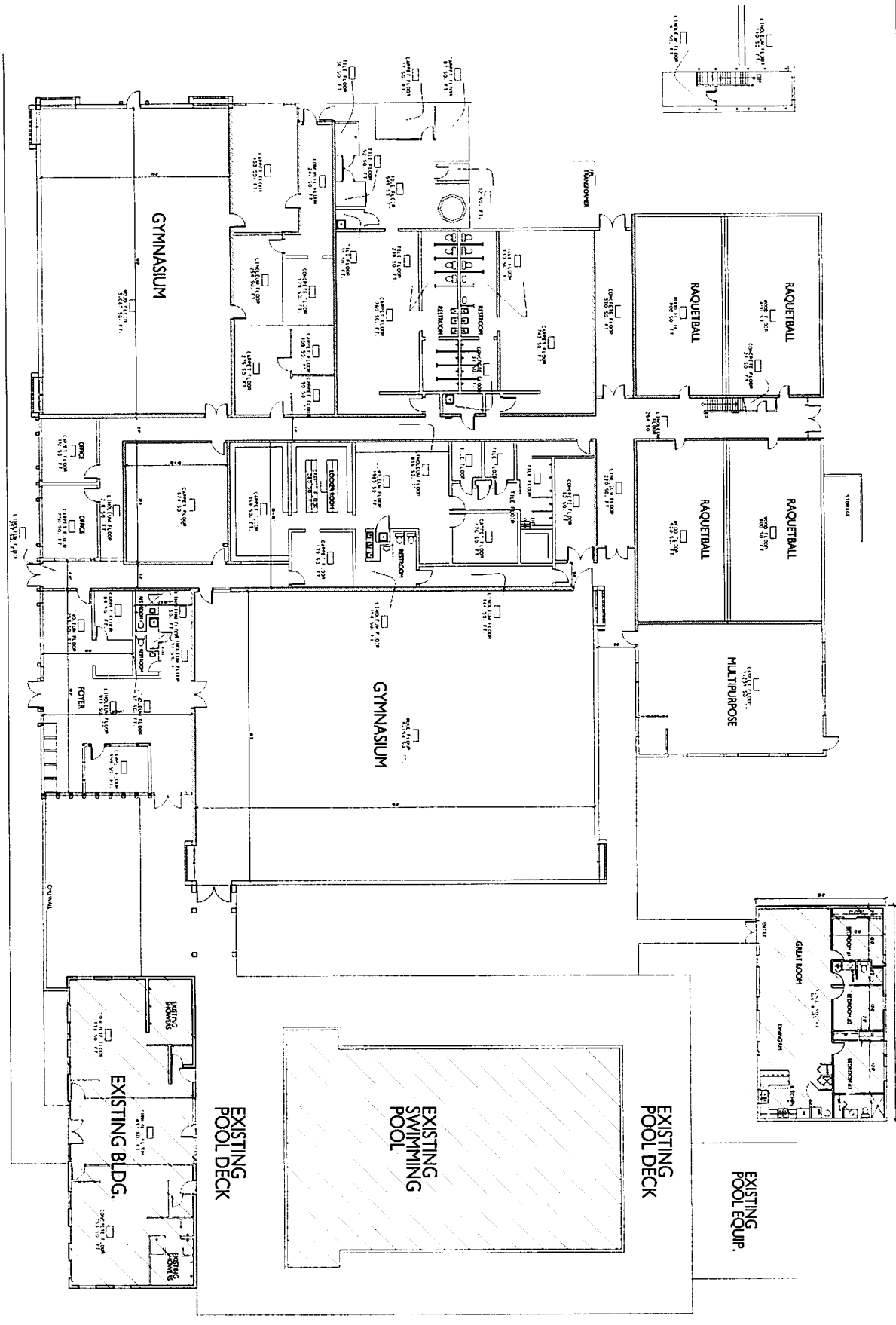
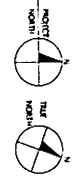
100. SPHERES



ATAIN ENGINEERING GROUP, INC.
CONSTRUCTION DETAILS
8500 W. UNIVERSITY BLVD., SUITE 113
DAYTONA BEACH, FL 32117
TEL: (386) 253-9272
FAX: (386) 253-9272

DRAFT

1 EXISTING FLOOR PLAN
SCALE: 1"=10'-0"



BFY
Associates Inc.
AL 26001187

ARCHITECT:
BFY Associates Inc.
1400 W. UNIVERSITY BLVD., SUITE 100
DAYTONA BEACH, FL 32119
P. 386.253.2111 Fax: 386.253.2110

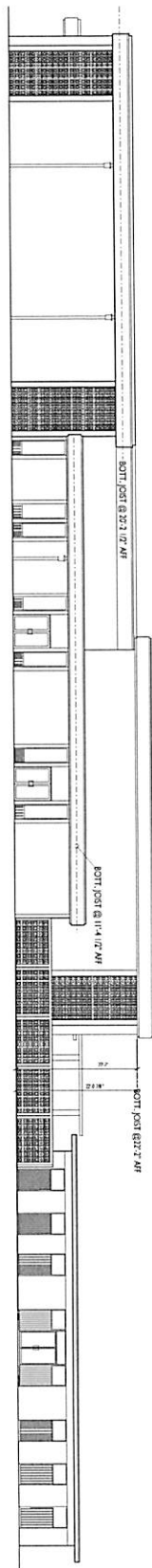
CONSULTANTS:

REVISIONS:

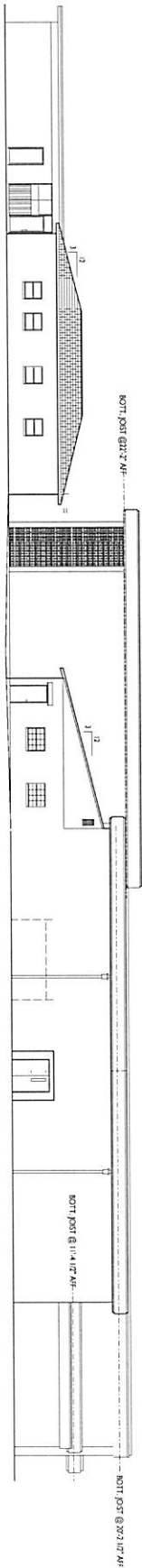
"ISLAMIC CENTER OF DAYTONA BEACH"
PROJECT LOCATION:
825 DERBYSHIRE ROAD, DAYTONA BCH,
VOLUSIA COUNTY, FL 32114

DATE: JUNE 21, 2018
EXISTING FLOOR PLAN
SHEET # X1.0
Brett T. Leland
Architect

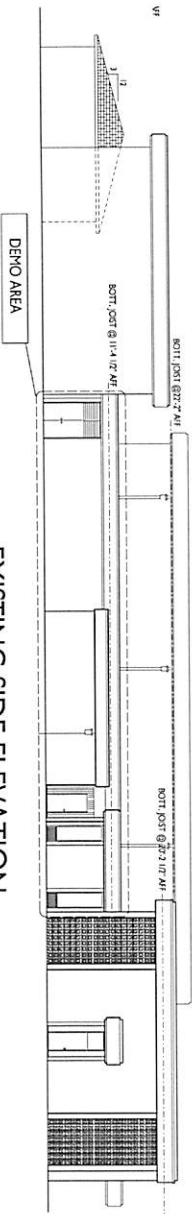
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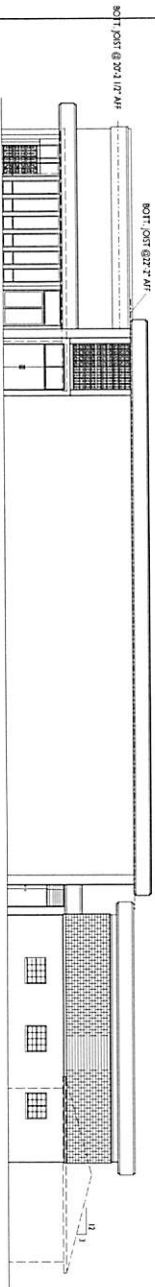
EXISTING FRONT ELEVATION
(SOUTH) SCALE: 1/8"=1'-0"



EXISTING BACK ELEVATION
(NORTH) SCALE: 1/8"=1'-0"



EXISTING SIDE ELEVATION
(WEST) SCALE: 1/8"=1'-0"



EXISTING SIDE ELEVATION
(EAST) SCALE: 1/8"=1'-0"

BFY
Associates Inc.
761 28001107

ARCHITECT:

BFY Associates Inc.
Robert Townsend, P.E., Reg. No. RA 0015913
451 N. PALM BLVD., DAYTONA BEACH, FL 32118
P: 386.253.2211 Fax: 386.253.2211
E: info@bfy.com

CONSULTANTS:

REVISIONS:

*"ISLAMIC CENTER
OF DAYTONA BEACH"*
PROJECT LOCATION:
825 DERBYSHIRE ROAD, DAYTONA BCH,
VOLUSIA COUNTY, FL 32114

DATE: JUNE 21, 2018

EXISTING ELEVATIONS

SHEET #
X2.0



AREA CALCULATIONS	
21,856 SF = EXISTING MAIN BUILDING	
3,096 SF = ADDITION	
24,952 SF = TOTAL MAIN BUILDING	
2,174 SF = EXISTING POOL BUILDING	
1,500 SF = EXISTING CARETAKER HOUSING	
28,576 SF = TOTAL ALL BUILDINGS	
OCCUPANT LOAD (NEXT TO ROOM NAME)	

-BFY-
Associates Inc.
AA 26001107

ARCHITECT:
-BFY Associates Inc.
Noran Turkovic, P.E., Reg. No. AR 0015917,
545 N. HAL FAK AV., Daytona Beach, FL 32118
Ph. 386/258-2261 Fax 386/258-2262

CONSULTANTS:

REVISIONS:

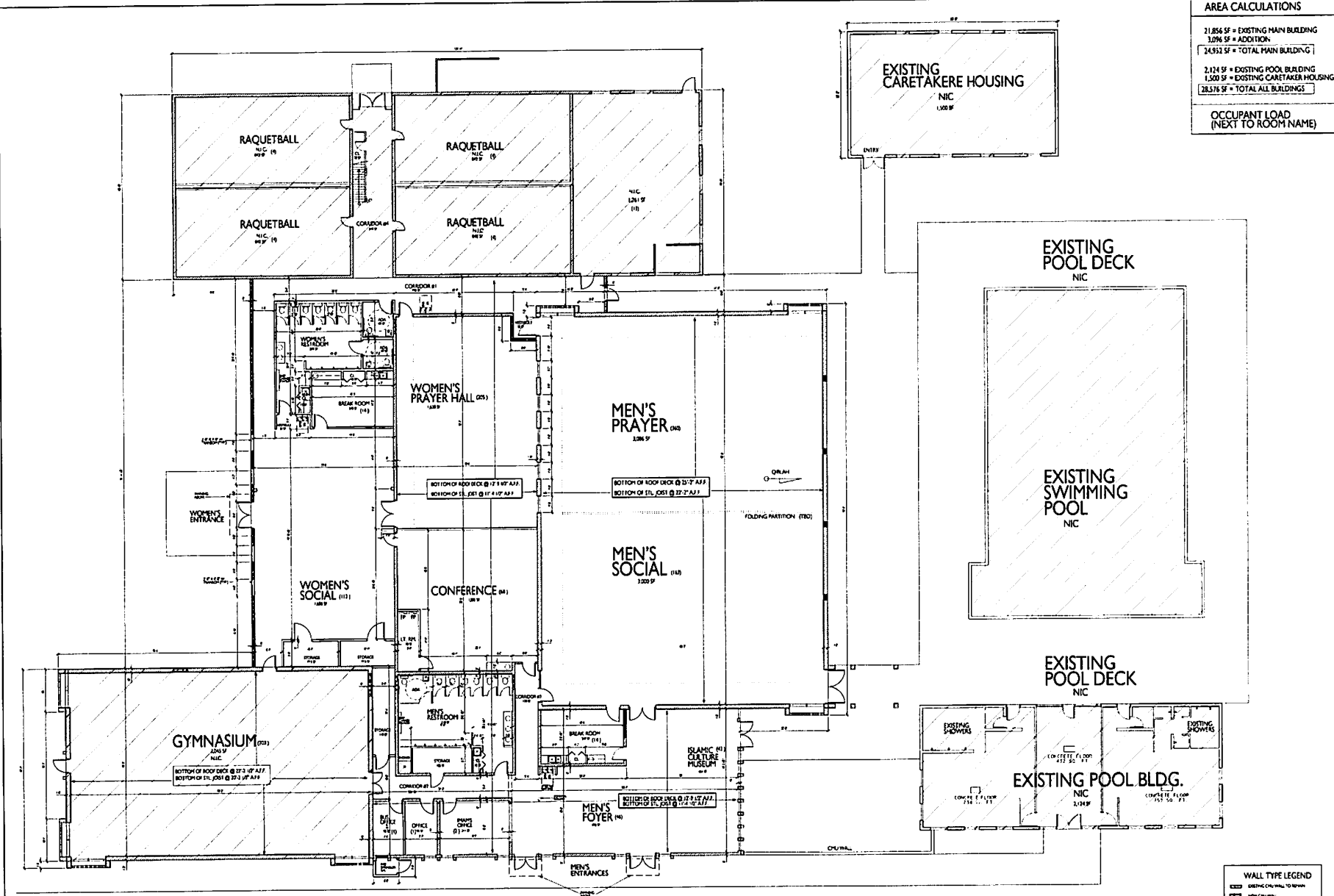
"ISLAMIC CENTER OF DAYTONA BEACH"
PROJECT LOCATION:
835 DERBYSHIRE ROAD, DAYTONA BCH,
VOLUNIA COUNTY, FL 32114

DATE: JUNE 21, 2018

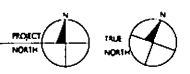
PROPOSED FLOOR PLAN

SHEET #
A1.0

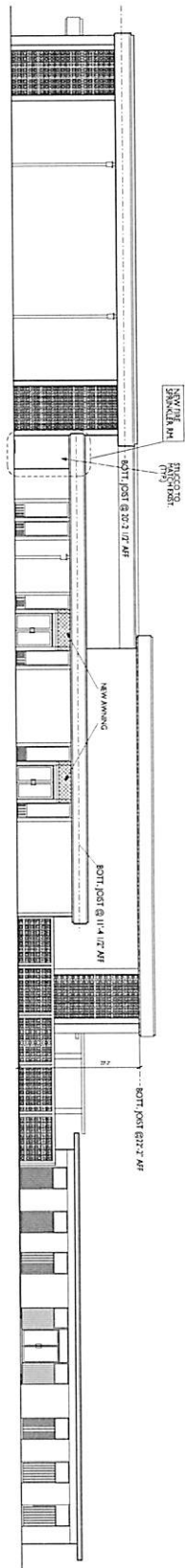
Noran Turkovic
P.E., Reg. No. AR 0015917
Registered Architect



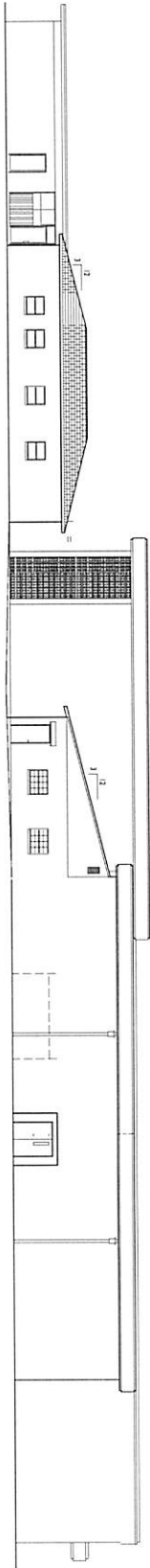
1 PROPOSED FLOOR PLAN
SCALE: 1"=10'-0"



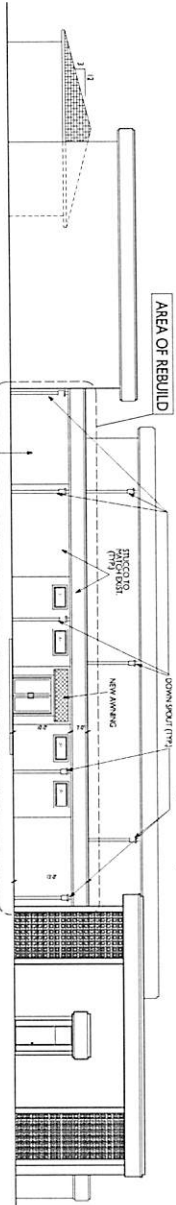
WALL TYPE LEGEND	
[Symbol]	EXISTING CONCRETE WALL TO REMAIN
[Symbol]	NEW CONCRETE WALL
[Symbol]	NEW CMU WALL TO EXIST WALL
[Symbol]	EXISTING METAL STUD WALL - TO REMAIN
[Symbol]	NEW METAL STUD WALL
[Symbol]	NEW METAL STUD WALL WITH GLASS



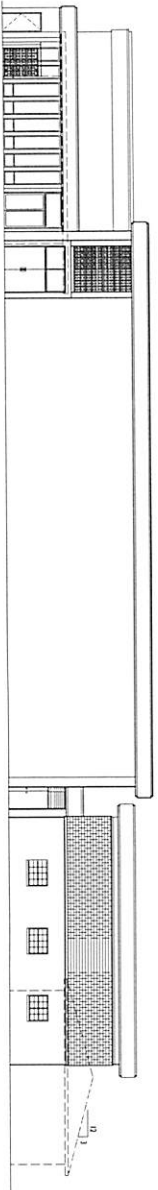
PROPOSED FRONT ELEVATION
(SOUTH) SCALE: 1/8"=1'-0"



PROPOSED BACK ELEVATION
(NORTH) SCALE: 1/8"=1'-0"



PROPOSED SIDE ELEVATION
(WEST) SCALE: 1/8"=1'-0"



PROPOSED SIDE ELEVATION
(EAST) SCALE: 1/8"=1'-0"

-BFY-
Associates Inc.
AA 28001107

ARCHITECT:

-BFY Associates Inc.
Broward/Volusia, FL Reg. No. 28 001107
465 N. W. 93rd Ave., Deytona Beach, FL 32118
P: 386.253.2341 Fax: 1.386.253.2341

CONSULTANTS:

REVISIONS:

*" ISLAMIC CENTER
OF DAYTONA BEACH"*
PROJECT LOCATION:
825 DERBYSHIRE ROAD, DAYTONA BCH,
VOLUSIA COUNTY, FL 32114

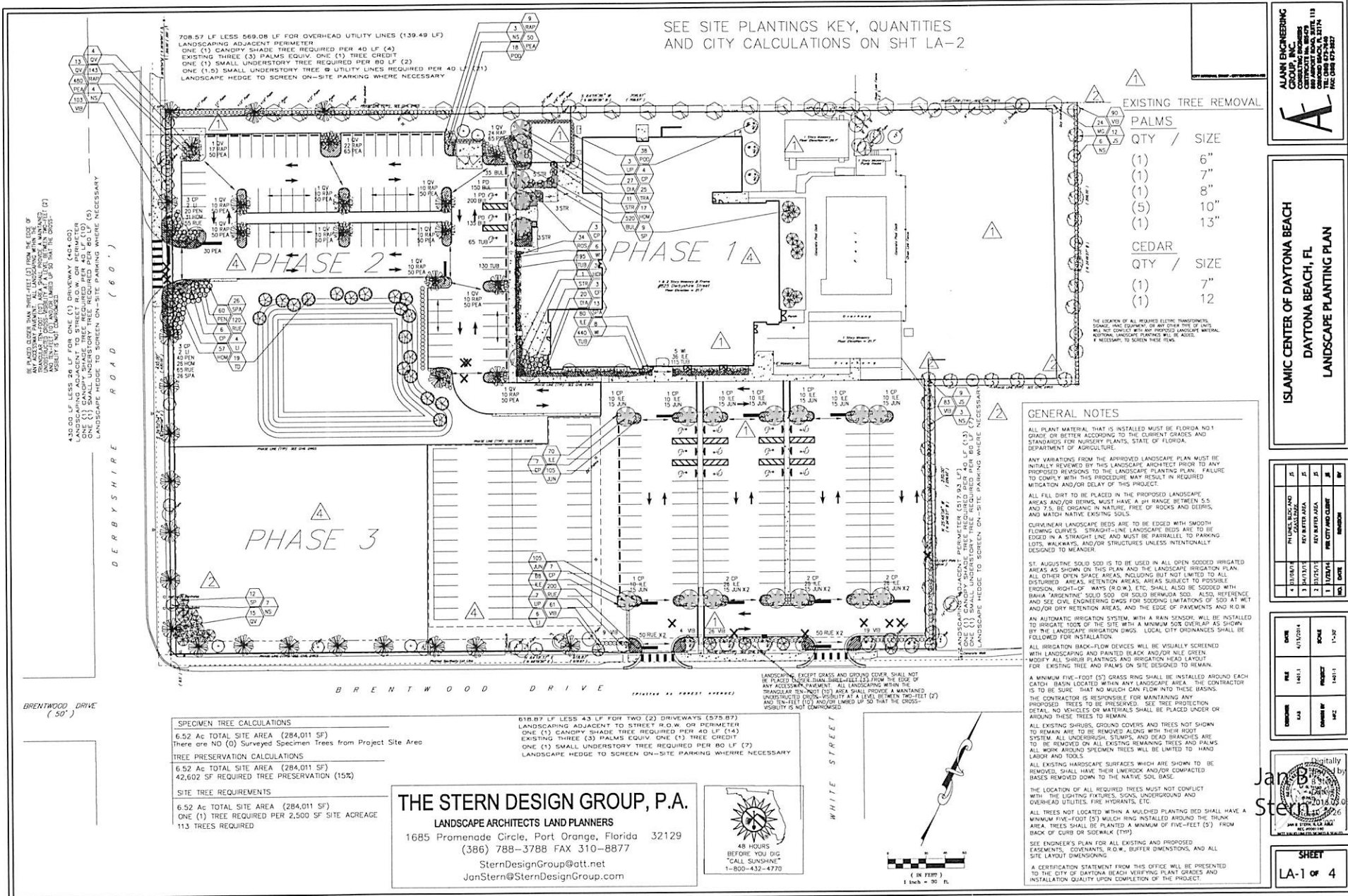
DATE: JUNE 21, 2018

PROPOSED ELEVATIONS

SHEET #
A2.0



SEE SITE PLANTINGS KEY, QUANTITIES AND CITY CALCULATIONS ON SHT LA-2



ALAN ENGINEERING
 CONSULTING ENGINEERS
 CONTRACT NO. 18-079
 11111
 DAYTONA BEACH, FL 32114
 TEL: 386-257-2800
 FAX: 386-257-2802

ISLAMIC CENTER OF DAYTONA BEACH
 DAYTONA BEACH, FL
 LANDSCAPE PLANTING PLAN

EXISTING TREE REMOVAL

PALMS	QTY	SIZE
	(1)	6"
	(1)	7"
	(1)	8"
	(5)	10"
	(1)	13"

CEDAR	QTY	SIZE
	(1)	7"
	(1)	12"

GENERAL NOTES

ALL PLANT MATERIAL THAT IS INSTALLED MUST BE FLORIDA NO.1 GRADE OR BETTER ACCORDING TO THE CURRENT GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.

ANY VARIATIONS FROM THE APPROVED LANDSCAPE PLAN MUST BE INITIALLY REVIEWED BY THIS LANDSCAPE ARCHITECT PRIOR TO ANY PROPOSED REVISIONS TO THE LANDSCAPE PLANTING PLAN. FAILURE TO COMPLY WITH THIS PROCEDURE MAY RESULT IN REQUIRED MITIGATION AND/OR DELAY OF THIS PROJECT.

ALL FILL DIRT TO BE PLACED IN THE PROPOSED LANDSCAPE AREAS AND/OR ITEMS, MUST HAVE A pH RANGE BETWEEN 5.5 AND 7.5, BE ORGANIC IN NATURE, FREE OF ROCKS AND DEBRIS, AND MATCH NATIVE EXISTING SOILS.

CURVILINEAR LANDSCAPE BEDS ARE TO BE EDGED WITH SMOOTH FLOWING CURVES. STRAIGHT-LINE LANDSCAPE BEDS ARE TO BE EDGED IN A STRAIGHT LINE AND MUST BE PARALLEL TO PARKING LOTS, WALKWAYS, AND/OR STRUCTURES UNLESS INTENTIONALLY DESIGNED TO MEANDER.

ST. AUGUSTINE SOLID SOD IS TO BE USED IN ALL OPEN SOODED IRRIGATED AREAS AS SHOWN ON THIS PLAN AND THE LANDSCAPE IRRIGATION PLAN. ALL OTHER OPEN SPACE AREAS, INCLUDING BUT NOT LIMITED TO ALL DISTURBED AREAS, RETENTION AREAS, AREAS SUBJECT TO POSSIBLE EROSION, RIGHT-OF-WAYS (ROW), ETC. SHALL ALSO BE SOODED WITH BAHIA 'ARGENTINE' SOLID SOD OR SOLID BERMOUDA SOD. ALSO, REFERENCE AND SEE CIVIL ENGINEERING DWGS FOR SOODING LIMITATIONS OF SOD AT MET AND/OR DRY RETENTION AREAS, AND THE EDGE OF PAVEMENTS AND ROW.

AN AUTOMATIC IRRIGATION SYSTEM, WITH A RAIN SENSOR, WILL BE INSTALLED TO IRRIGATE 100% OF THE SITE WITH A MINIMUM SOD OVERLAP AS SHOWN BY THE LANDSCAPE IRRIGATION DWGS. LOCAL CITY ORDINANCES SHALL BE FOLLOWED FOR INSTALLATION.

ALL IRRIGATION BACK-FLOW DEVICES WILL BE VISUALLY SCREENED WITH LANDSCAPING AND PAINTED BLACK AND/OR NILE GREEN. MODIFY ALL SHRUB PLANTINGS AND IRRIGATION HEAD LAYOUT OR EXISTING TREE AND PALMS ON SITE DESIGNED TO REMAIN.

A MINIMUM FIVE-FOOT (5') GRASS RING SHALL BE INSTALLED AROUND EACH CATCH BASIN LOCATED WITHIN ANY LANDSCAPE AREA. THE CONTRACTOR IS TO BE SURE THAT NO MULCH CAN FLOW INTO THESE BASINS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ANY PROPOSED TREES TO BE PRESERVED. SEE TREE PROTECTION DETAIL. NO VEHICLES OR MATERIALS SHALL BE PLACED UNDER OR AROUND THESE TREES TO REMAIN.

ALL EXISTING SHRUBS, GRASS COVERS AND TREES NOT SHOWN TO REMAIN ARE TO BE REMOVED ALONG WITH THEIR ROOT SYSTEM. ALL UNDERGROUND, STUMPS, AND DEAD BRANCHES ARE TO BE REMOVED ON ALL EXISTING REMAINING TREES AND PALMS. ALL WORK AROUND SPECIMEN TREES WILL BE LIMITED TO HAND LAWN AND TOOLS.

ALL EXISTING HARDSCAPE SURFACES WHICH ARE SHOWN TO BE REMOVED, SHALL HAVE THEIR UNDERGROUND AND/OR COMPACT BASES REMOVED DOWN TO THE NATIVE SOIL BASE.

THE LOCATION OF ALL REQUIRED TREES MUST NOT CONFLICT WITH THE LIGHTING FIXTURES, SIGNALS, UNDERGROUND AND OVERHEAD UTILITIES, FIRE HYDRANTS, ETC.

ALL TREES NOT LOCATED WITHIN A MULCHED PLANTING BED SHALL HAVE A MINIMUM FIVE-FOOT (5') MULCH RING INSTALLED AROUND THE TRUNK AREA. TREES SHALL BE PLANTED A MINIMUM OF FIVE-FOOT (5') FROM BACK OF CURB OR SIDEWALK (TYP).

SEE ENGINEER'S PLAN FOR ALL EXISTING AND PROPOSED EASEMENTS, COVENANTS, ROW, BUFFER DIMENSIONS, AND ALL SITE LAYOUT DIMENSIONING.

A CERTIFICATION STATEMENT FROM THIS OFFICE WILL BE PRESENTED TO THE CITY OF DAYTONA BEACH VERIFYING PLANT GRADES AND INSTALLATION QUALITY UPON COMPLETION OF THE PROJECT.

708.57 LF LESS 069.08 LF FOR OVERHEAD UTILITY LINES (139.49 LF)
 LANDSCAPING ADJACENT PERIMETER
 ONE (1) CANDY SHADE TREE REQUIRED PER 40 LF (4)
 EXISTING THREE (3) PALMS EQUIV. ONE (1) TREE CREDIT
 ONE (1) SMALL UNDERSTORY TREE REQUIRED PER 80 LF (2)
 ONE (1) SMALL UNDERSTORY TREE & UTILITY LINES REQUIRED PER 40 LF (2)
 LANDSCAPE HEDGE TO SCREEN ON-SITE PARKING WHERE NECESSARY

430.00 LF LESS 26 LF FOR ONE (1) DRIVEWAY (404.00)
 LANDSCAPING ADJACENT PERIMETER
 ONE (1) CANDY SHADE TREE REQUIRED PER 40 LF (10)
 ONE (1) SMALL UNDERSTORY TREE & UTILITY LINES REQUIRED PER 40 LF (2)
 LANDSCAPE HEDGE TO SCREEN ON-SITE PARKING WHERE NECESSARY

618.89 LF LESS 43 LF FOR TWO (2) DRIVEWAYS (575.87)
 LANDSCAPING ADJACENT TO STREET & D.W. OR PERIMETER
 ONE (1) CANDY SHADE TREE REQUIRED PER 40 LF (14)
 EXISTING THREE (3) PALMS EQUIV. ONE (1) TREE CREDIT
 ONE (1) SMALL UNDERSTORY TREE REQUIRED PER 80 LF (7)
 LANDSCAPE HEDGE TO SCREEN ON-SITE PARKING WHERE NECESSARY

SPECIMEN TREE CALCULATIONS

6.52 Ac TOTAL SITE AREA (284,011 SF)
 There are NO (0) Surveyed Specimen Trees from Project Site Area

TREE PRESERVATION CALCULATIONS

6.52 Ac TOTAL SITE AREA (284,011 SF)
 42,602 SF REQUIRED TREE PRESERVATION (15%)

SITE TREE REQUIREMENTS

6.52 Ac TOTAL SITE AREA (284,011 SF)
 ONE (1) TREE REQUIRED PER 2,500 SF SITE ACREAGE
 113 TREES REQUIRED

THE STERN DESIGN GROUP, P.A.
 LANDSCAPE ARCHITECTS LAND PLANNERS
 1685 Promenade Circle, Port Orange, Florida 32129
 (386) 788-3788 FAX 310-8877
 SternDesignGroup@att.net
 JanStern@SternDesignGroup.com



Jan B. Stern
 1/11/2016
 11:08 AM

DATE PLOTTED: 04/10/2014 10:58:58 AM USER: jay.davis

MONUMENT SIGN

SIGN "A"	80 SF TOTAL (60 SF FIXED + 20 SF CHANGEABLE COPY)
SIGN "B"	60 SF FIXED
SIGN "C"	60 SF FIXED
WALL SIGN	48 SF
SIGN "D"	96 SF
SIGN "E"	48 SF
SIGN "F"	48 SF

MAX SURFACE AREA
MIN. SETBACK

PHASE 1 SHALL CONSIST OF THE MODIFICATIONS AND ADDITIONS TO THE EXISTING BUILDING AND PARKING AREA, AND SITE AND BUILDING MODIFICATIONS WITHIN THE LIMITS OF THE PHASE 1 AREA OUTLINED ABOVE. LANDSCAPING WILL ONLY BE INSTALLED WITHIN THE PERIMETER OF THE PHASE 1 BOUNDARIES.

PHASE 2 SHALL CONSIST OF THE INSTALLMENT OF ALL THE REST OF THE PERIMETER LANDSCAPING AS SHOWN ON THE LANDSCAPE PLANS. IT SHALL ALSO CONSIST OF THE INSTALLMENT OF A STORM WATER POND, PLAYGROUND, AND PARKING LOT EXPANSION AS SHOWN WITHIN THE LIMITS OF PHASE 2 OUTLINED ABOVE.

PHASE 3 SHALL BE LIMITED TO A FUTURE BUILDING, ASSOCIATED PARKING AND STORM-WATER TO BE LOCATED WITHIN THE LIMITS OF THE PHASE 3 AREA OUTLINED ABOVE.

SCHEDULES FOR COMMENCEMENT AND COMPLETION OF EACH PHASE IS AS STATED IN THE PLANNED DEVELOPMENT AGREEMENT.

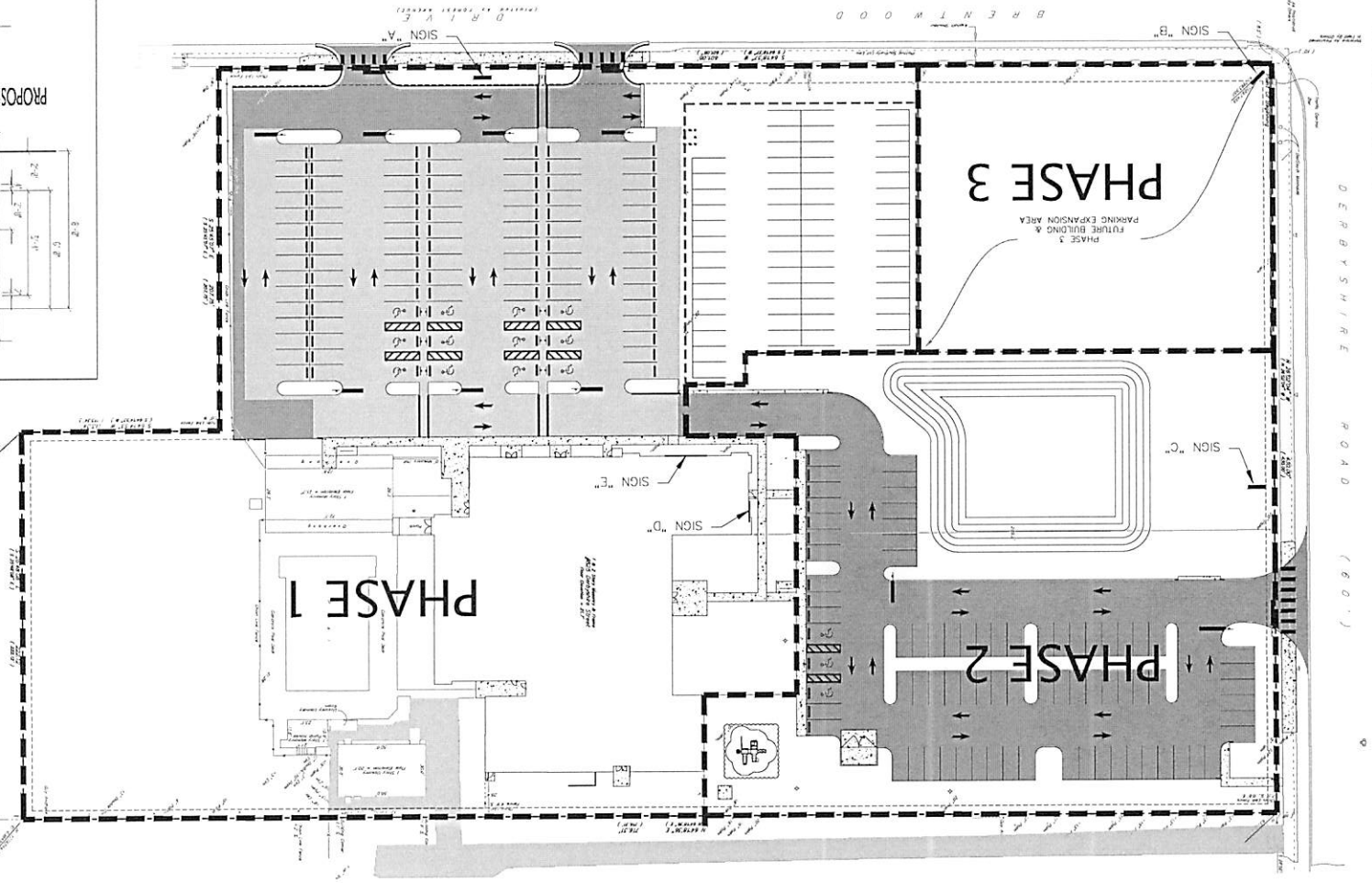
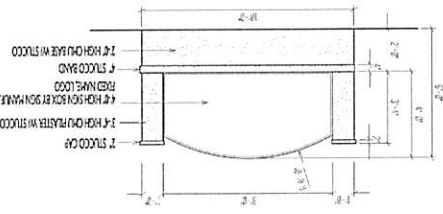
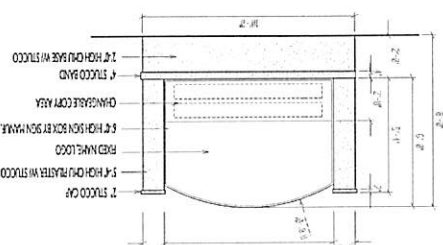


EXHIBIT E

PROPOSED CONCEPTUAL SIGN ELEVATION (DERBYSHIRE)



PROPOSED CONCEPTUAL SIGN ELEVATION (BRENTWOOD)



DATE	10/11/11	SCALE	1/4" = 1'-0"
DESIGNER	KAJ	CHECKER	WAZ
DRAWN BY	WAZ	DATE	4/10/2014

NO	DATE	REVISION
1	4/10/14	PERMITTED
2	4/10/14	PERMITTED TO REC
3	4/10/14	PERMITTED
4	4/10/14	PERMITTED

NO	DATE	REVISION
1	4/10/14	PERMITTED
2	4/10/14	PERMITTED TO REC
3	4/10/14	PERMITTED
4	4/10/14	PERMITTED

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
SIGN PLAN & PHASING PLAN



ALAM ENGINEERING GROUP, INC.
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880 AMBROSE ROAD, SUITE 113
DAYTONA BEACH, FL 32114
TEL: (386) 251-3227