

Agenda Item 7 (Quasi-Judicial Hearing)

Rezoning - Planned Development-General

DEV2018-033

First Amendment Islamic Center of Daytona Beach PD-G

STAFF REPORT

DATE: September 18, 2018

TO: Planning Board Members

FROM: Dennis Mrozek, AICP, Planning Director

PROJECT REQUEST

A request by Kimberly A. Buck, P.E., The Alann Engineering Group, Inc., on behalf of the Islamic Center Daytona Beach, Inc., to amend the Islamic Center of Daytona Beach Planned District Agreement to modify the building design, add a phasing schedule, and extend the timetable for development on property located at 825 Derbyshire Road.

PROJECT LOCATION

The subject property is located on the northeast corner of Derbyshire Road and Brentwood Drive. The property is the site of the former YMCA. The subject property and the adjacent Future Land Use (FLU) and Zoning classifications are more clearly illustrated in the attached maps and in the following table:

Table 1: Land Use and Zoning

	Existing Uses	Future Land Use Designation	Existing Zoning Classification
Site	Vacant Development	Existing Potential Parks	Planned Development-General (PD-G)
North	Public Park	Existing Potential Parks	Single-Family Residential (SFR-5)
South	Single Family/ Vacant Undeveloped	Level 1 Residential/ Level 2 Residential	Single-Family Residential (SFR-5) Multifamily (MFR-20)
East	Old YMCA Trail	Existing Potential Parks	Single-Family Residential (SFR-5)
West	Single Family	Level 1 Residential	Single-Family Residential (SFR-5)



Facing north toward property from Brentwood Drive

PROJECT HISTORY

Ordinance No. 15-277 adopted at the November 18, 2015, City Commission meeting approved the Islamic Center of Daytona Beach Planned Development-General zoning and PD Agreement. The approval included the rezoning of a 6.5± acre tract of land on the northwest corner of Derbyshire Road and Brentwood Drive for the purpose of redeveloping the site to a place of worship with associated parking, amenities and infrastructure improvements on portions of the existing development. The project was proposed to be developed in two phases, with phase one consisting of modifications and additions to the existing building and parking area. The second phase consisted of construction of one additional building with associated parking and stormwater. The project included additional uses, such as a child care facility and a full-time elementary school.

The original timetable for development required that all construction permits for the first phase be submitted within 18 months of the approval of the agreement, or by May 25, 2017. The applicant was granted an administrative extension of 12 months toward this deadline, or until May 25, 2018. The property owner failed to submit all construction permits for the first phase before the required deadline, causing all development rights granted by the Agreement to lapse.

PROJECT DESCRIPTION

This will be the first amendment to the Islamic Center of Daytona Beach PD. The applicant is requesting the following amendments to the agreement:

- Add an additional phase to the development;
- Modify the architectural design of the building; and
- Establish a new timetable for development of the project.

PROJECT ANALYSIS

The first amendment to the Islamic Center of Daytona Beach Planned District Agreement includes the following changes:

- Revision of Exhibit E (*Attachment A*): *Sign Plan and Phasing Plan, rev. date 8/3/2018*
The revised Exhibit E includes the new phasing plan for the project. Phase One now includes redevelopment of the existing building, as well as parking lot, landscaping and infrastructure improvements for the area south of the main building to Brentwood Drive.

Phase Two now includes the parking lot, landscaping and infrastructure improvements west of the main building to Derbyshire Road. The third phase (formerly second phase) includes a future building and parking expansion area at the corner of Derbyshire Road and Brentwood Drive. No changes are proposed to the current signage plan.

- Revision of Exhibit C (*Attachment B*): *Architectural Elevations, rev. date 6/21/2018*
The revised Exhibit C includes the current architectural elevations approved with the original PD Agreement and the proposed architectural elevations. The applicant has modified building plans to remove an expansion of the second floor of the existing building. Much of the architectural embellishments associated with the original approval have been modified or eliminated.
- With the approval of the First Amendment to the Islamic Center of Daytona Beach PD Agreement, the following new timetable for development will be included:

Application shall be submitted for all construction permits for the development, or for the first phase of a phased development, within 24 months of the approval of this Agreement by the City Commission. The filing of an appeal of the land development order by any person shall toll the time for permitting until final resolution of the appeal. If development is phased, application for construction permits for subsequent phases shall be submitted within 60 months from the date of initial approval.

Construction of phase one shall be substantially complete within 5 years of the approval of this Agreement. Construction of any other phase must be substantially complete within 10 years of the initial approval of this Agreement.

Review of and the decision on a Planned Development Amendment application shall be based on compliance of the proposed zoning reclassification and PD Plan/Agreement with the review standards in Section 3.4.D.3, Site-Specific Zoning District Map Amendment Review Standards.

Site-Specific Zoning District Map Amendment Review Standards

In determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment, the City shall consider:

a. Whether the applicant has provided, as part of the record of the public hearing on the application, competent substantial evidence that the proposed amendment:

i. Is consistent with and furthers the goals, objectives, and policies of the comprehensive plan and all other applicable City-adopted plans;

The nature of the revisions are consistent with the approved plan and are not in conflict with the goals, objectives, and policies of the comprehensive plan or other applicable City-adopted plans. A recorded copy of the Islamic Center of Daytona Beach has been included (*Attachment C*). The City's Technical Review Team (TRT) has reviewed the PD rezoning request and found it to be consistent with the Comprehensive Plan's.

ii. Is not in conflict with any portion of this Code;

Development standards for a Planned Development District must comply with the development standards of Article 6: Development Standards and Article 7: Subdivision Standards or any modifications of those standards established in the PD Plan/Agreement. The applicant has provided a Community Benefit letter which re-states modifications requested and granted as part of the original PD rezoning application (*Attachment E*). The City's Technical Review Team (TRT) has reviewed the PD rezoning request and found it to be consistent with the Comprehensive Plan's.

iii. Addresses a demonstrated community need;

The PD Amendment allows for future development of the Islamic Center of Daytona Beach property.

iv. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;

The permitted uses of the district are not being revised. The applicant has conducted the required neighborhood meeting for the rezoning request and has provide a summary of that meeting for review (*Attachment D*).

v. Would result in a logical and orderly development pattern;

The City's TRT has reviewed the PD Amendment request and found it to be acceptable.

vi. Would not adversely affect the property values in the area;

Staff does not have any indication the proposed development would have an adverse effect on the property values in the area.

vii. Would result in development that is adequately served by public facilities (roads, potable water, wastewater, solid waste, storm water, schools, parks, police, and fire and emergency medical facilities); and

The PD Agreement acknowledges rezoning approval does not constitute a Concurrency Certificate. During the site plan review process for each proposed phase of the development, the applicant will be required to separately obtain a Concurrency Certificate or, where applicable, to enter into a proportionate fair share agreement.

viii. Would not result in significantly adverse impacts on the natural environment including, but not limited to, water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and

Staff does not anticipate any adverse environmental impacts with the approval of this request.

b. If the applicant demonstrates that the proposed amendment meets the criteria in subparagraph [a] above, whether the current zoning district designation accomplishes a legitimate public purpose.

The City's TRT has reviewed the PD Amendment request and found it to be acceptable.

RECOMMENDATION

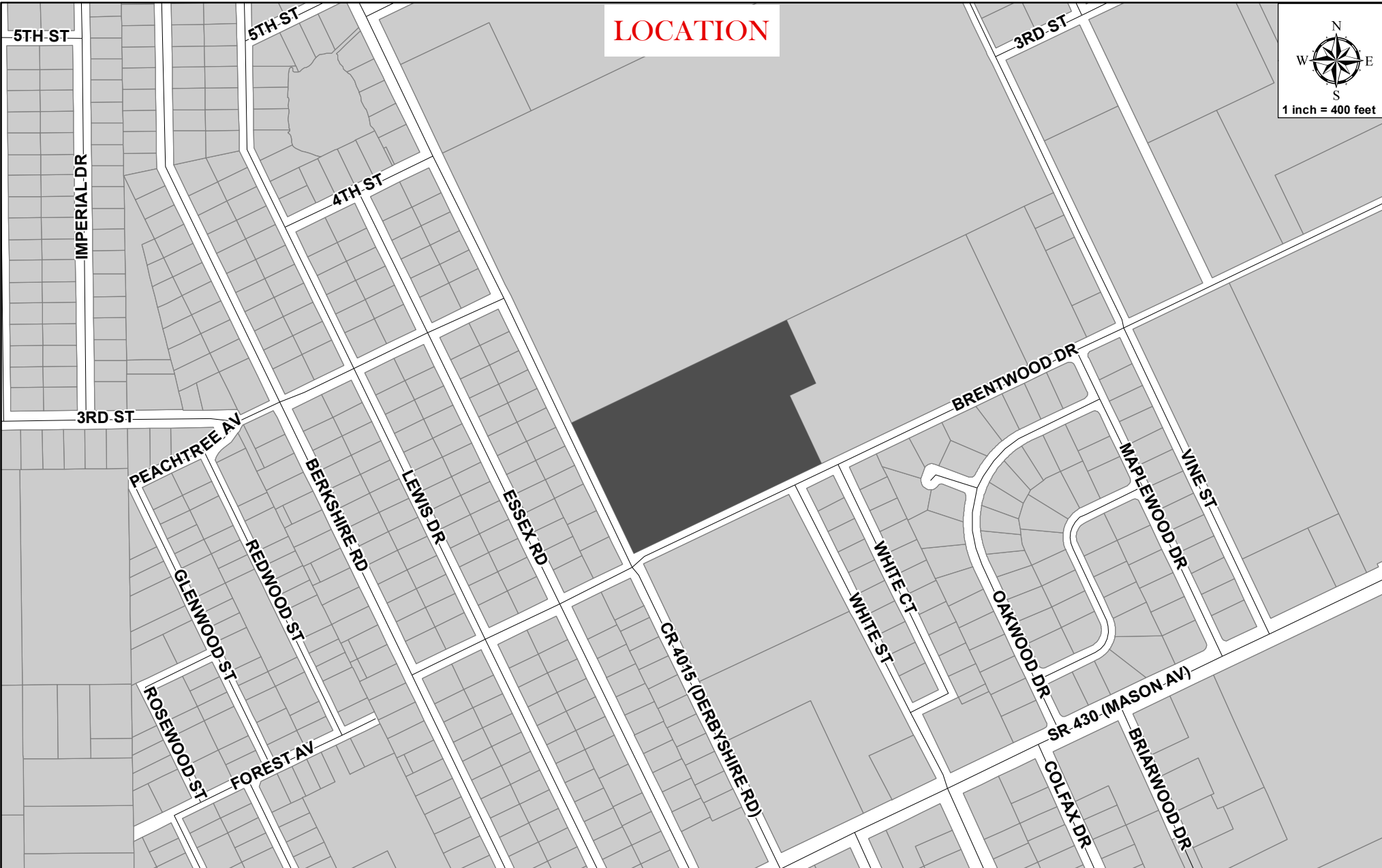
Staff recommends approval of the first amendment to the Islamic Center of Daytona Beach Planned District Agreement to modify the building design, add a phasing schedule, and extend the timetable for development

The item is tentatively scheduled to be heard by the City Commission for first reading on November 4, 2018, and for second reading on November 21 (public hearing). A majority vote of the Planning Board members present and voting is required to recommend approval to the City Commission.

LOCATION



1 inch = 400 feet



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DEV2018-033 REZONING LOCATION MAP

City of Daytona Beach Map disclaimer:
These maps were developed and produced by the City of Daytona Beach GIS. They are provided for reference only and are not intended to show map scale accuracy or all inclusive map features. As indicated, the accuracy of the map has not been verified and it should be used for informational purposes only. Any possible discrepancies should be brought to the attention of City Engineering and or Development Services.

AERIAL

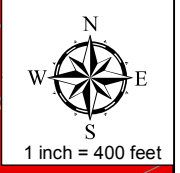
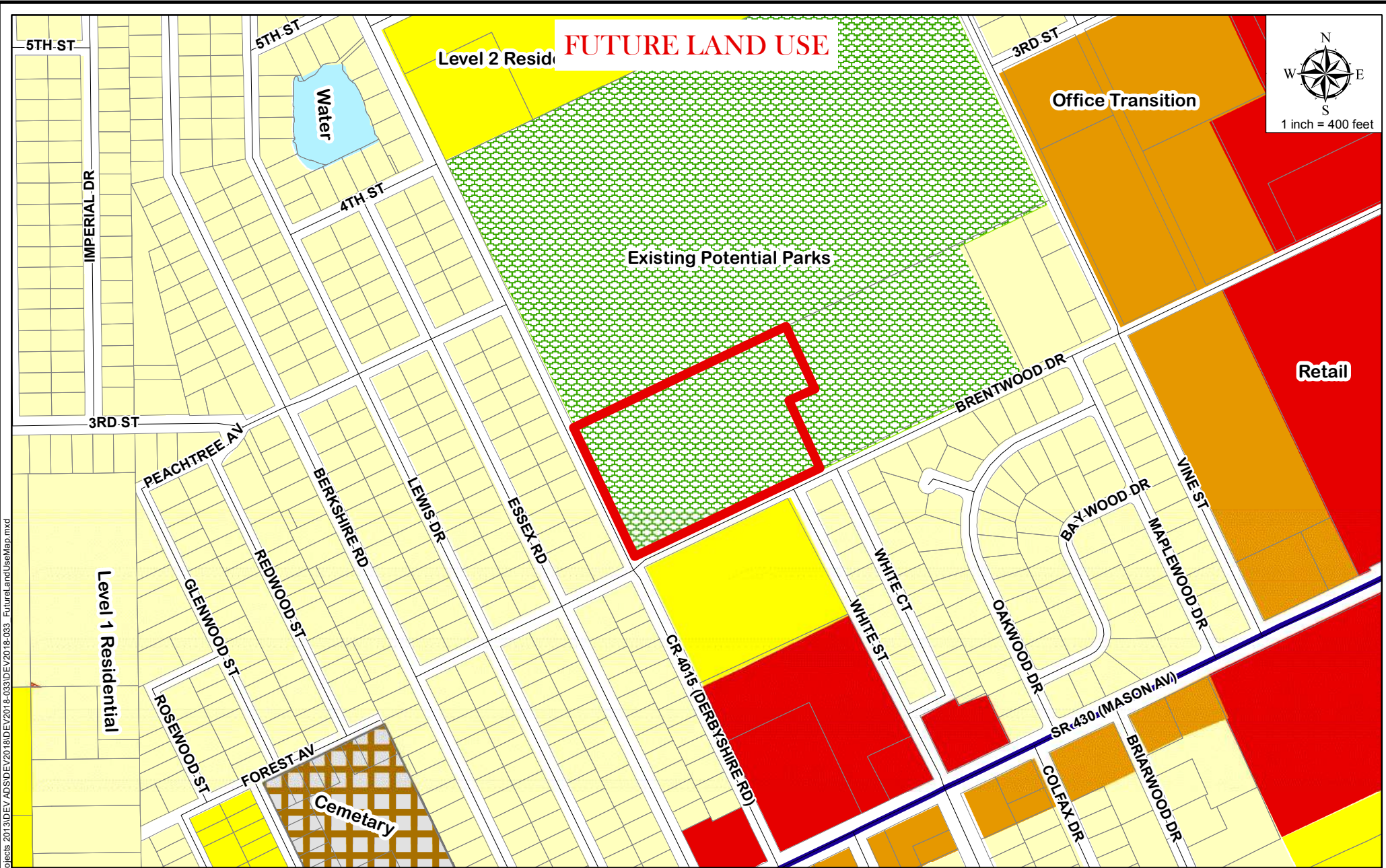


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DEV2018-033 REZONING AERIAL MAP

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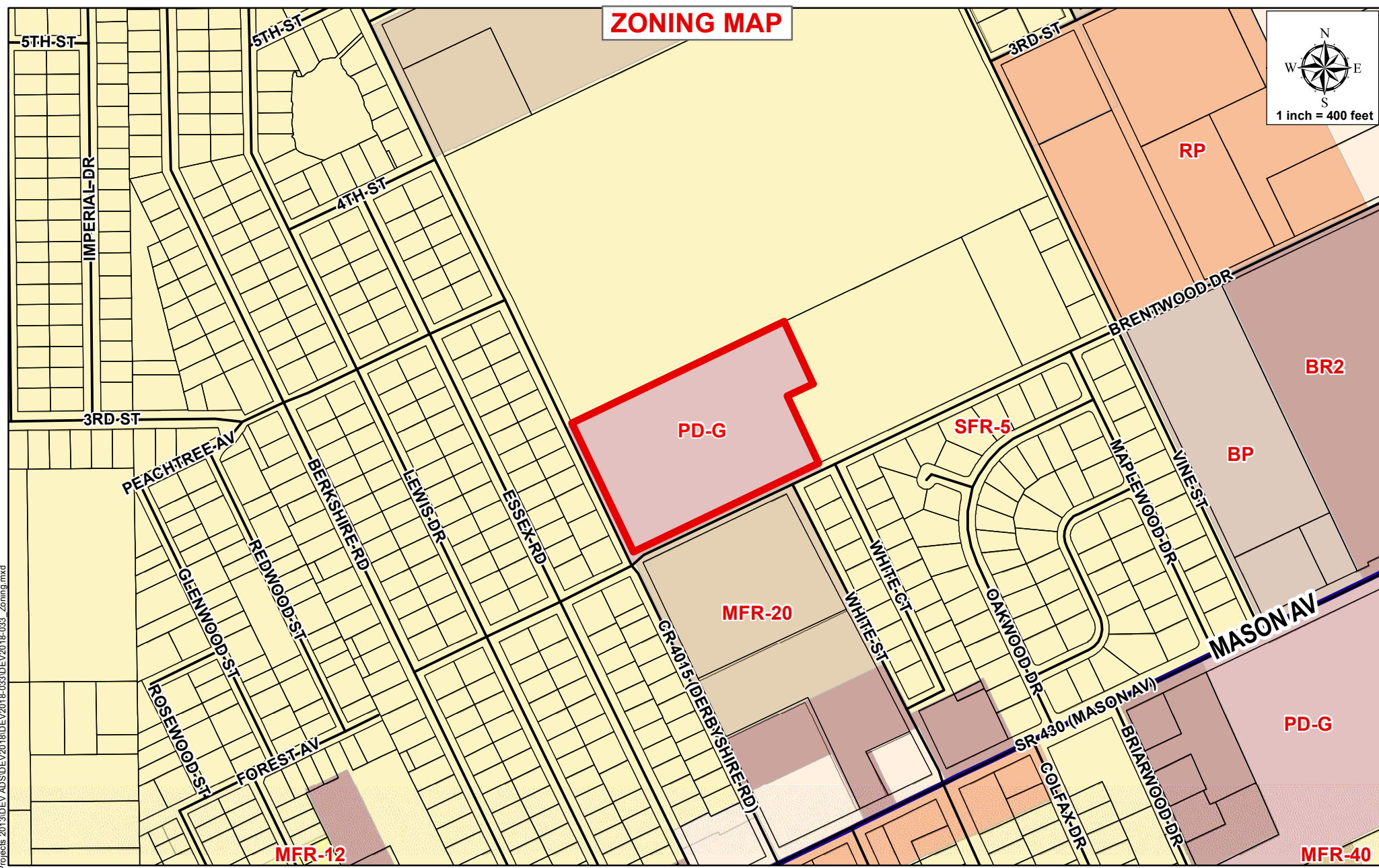
**DEV2018-033
REZONING
FUTURE LAND USE MAP**

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ZONING MAP



1 inch = 400 feet



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DEV2018-033 REZONING ZONING MAP

City of Daytona Beach Map disclaimer:
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Current Sign and Phasing Plan

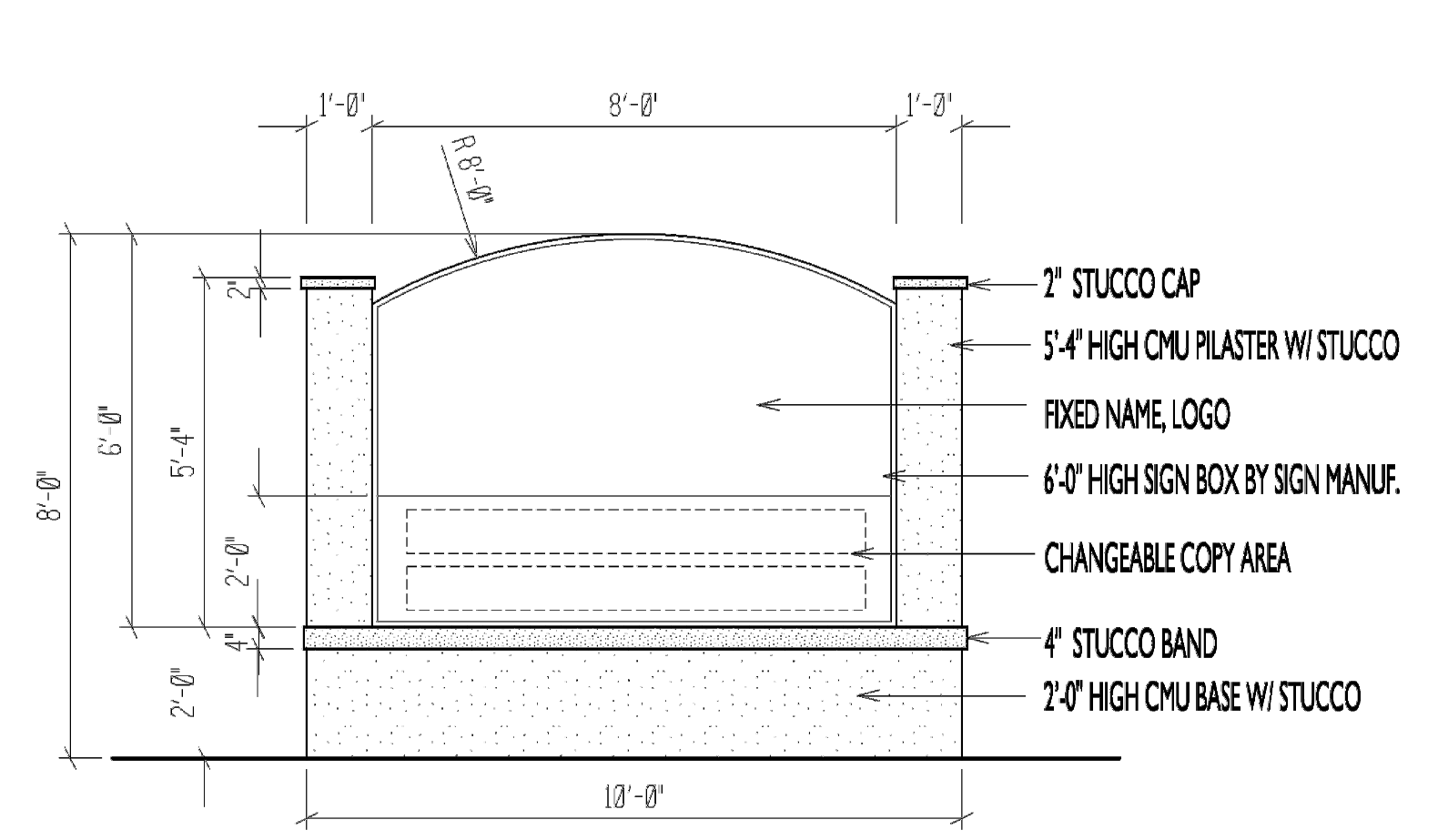
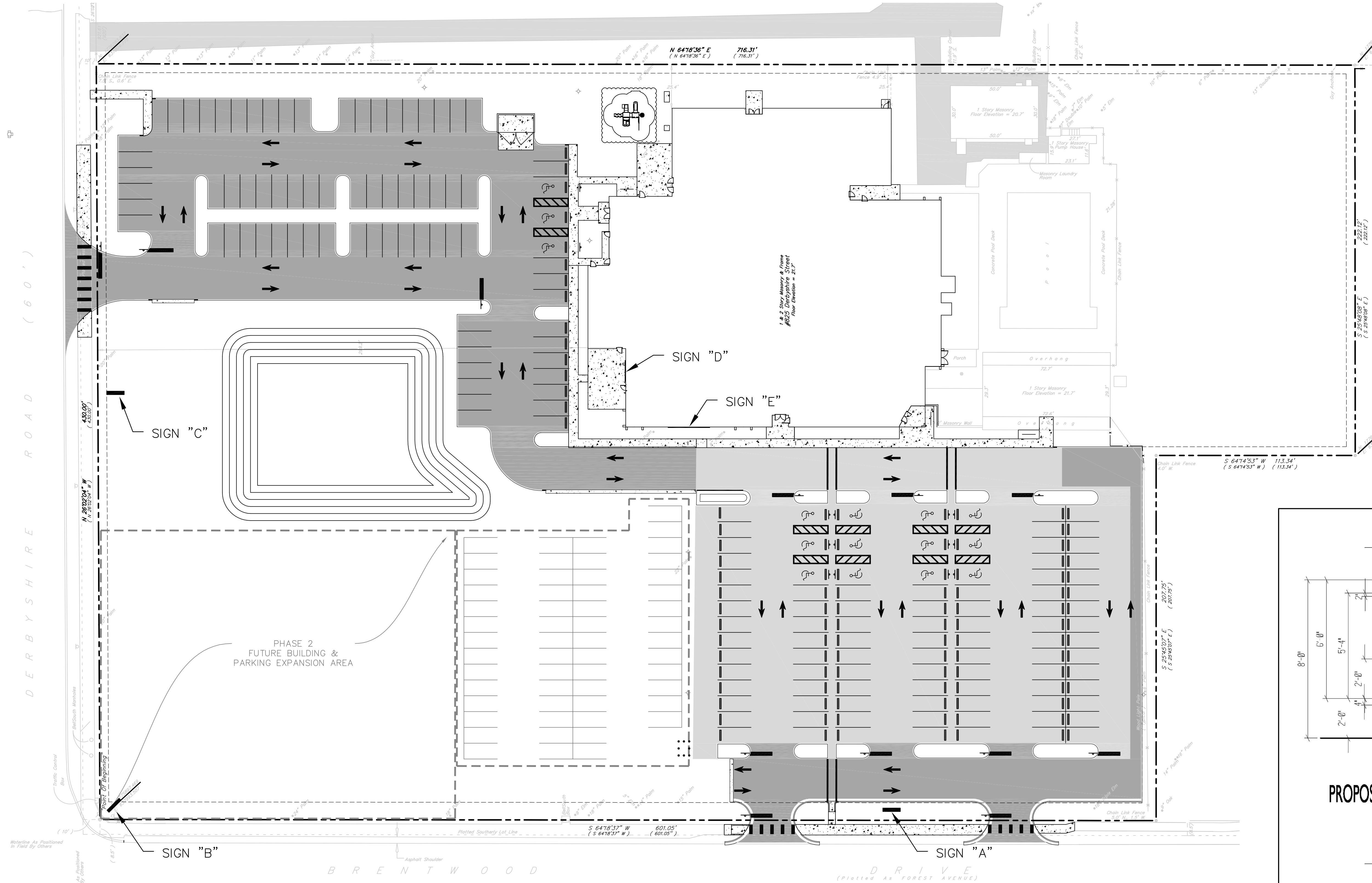
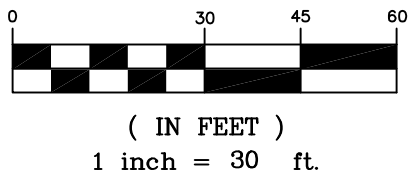
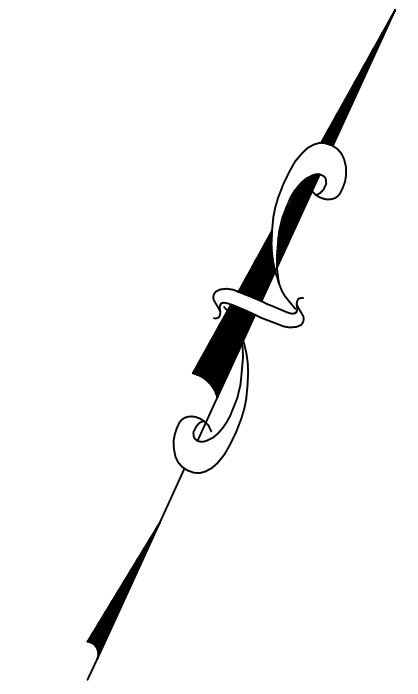
Attachment A

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE 113
DAYTONA BEACH, FL 32114
TEL: (386) 675-7646
FAX: (386) 675-3927

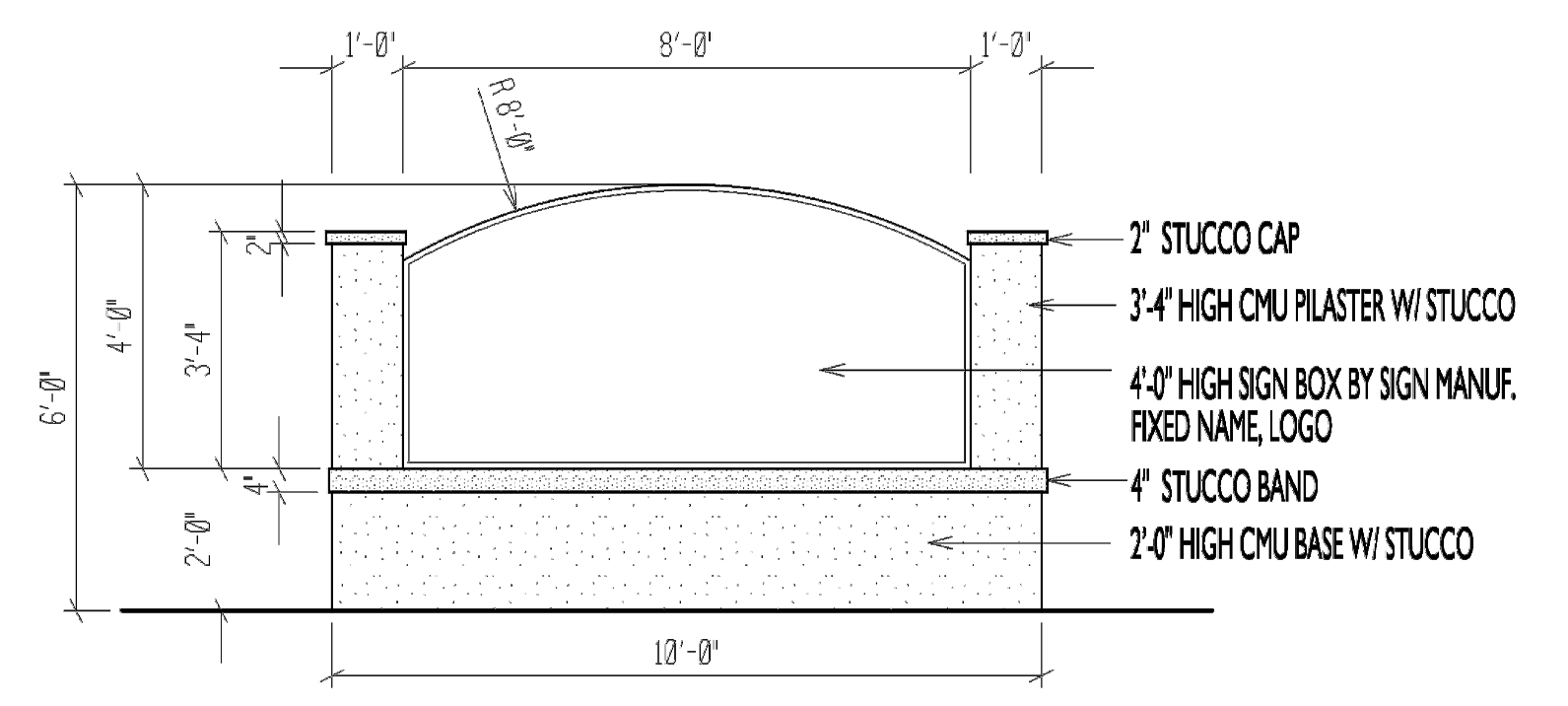
A

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
SIGN PLAN

CITY APPROVAL STAMP - CITY ID# DV2016-130



PROPOSED CONCEPTUAL SIGN ELEVATION (BRENTWOOD)



PROPOSED CONCEPTUAL SIGN ELEVATION (DERBYSHIRE)

MONUMENT SIGN	MAX. SURFACE AREA	MIN. SETBACK
SIGN "A"	80 SF TOTAL (60 SF FIXED+ 20 SF CHANGEABLE COPY)	5 FEET
SIGN "B"	60 SF FIXED	5 FEET
SIGN "C"	60 SF FIXED	5 FEET
WALL SIGN		
SIGN "D"	48 SF	
SIGN "E"	96 SF	

NO.	DATE	REVISION	BY
2	5/18/15	PER CITY RAI	MRZ
1	1/18/14	PER CITY RAI	MRZ

DATE	SCALE
4/15/2014	1"=30'

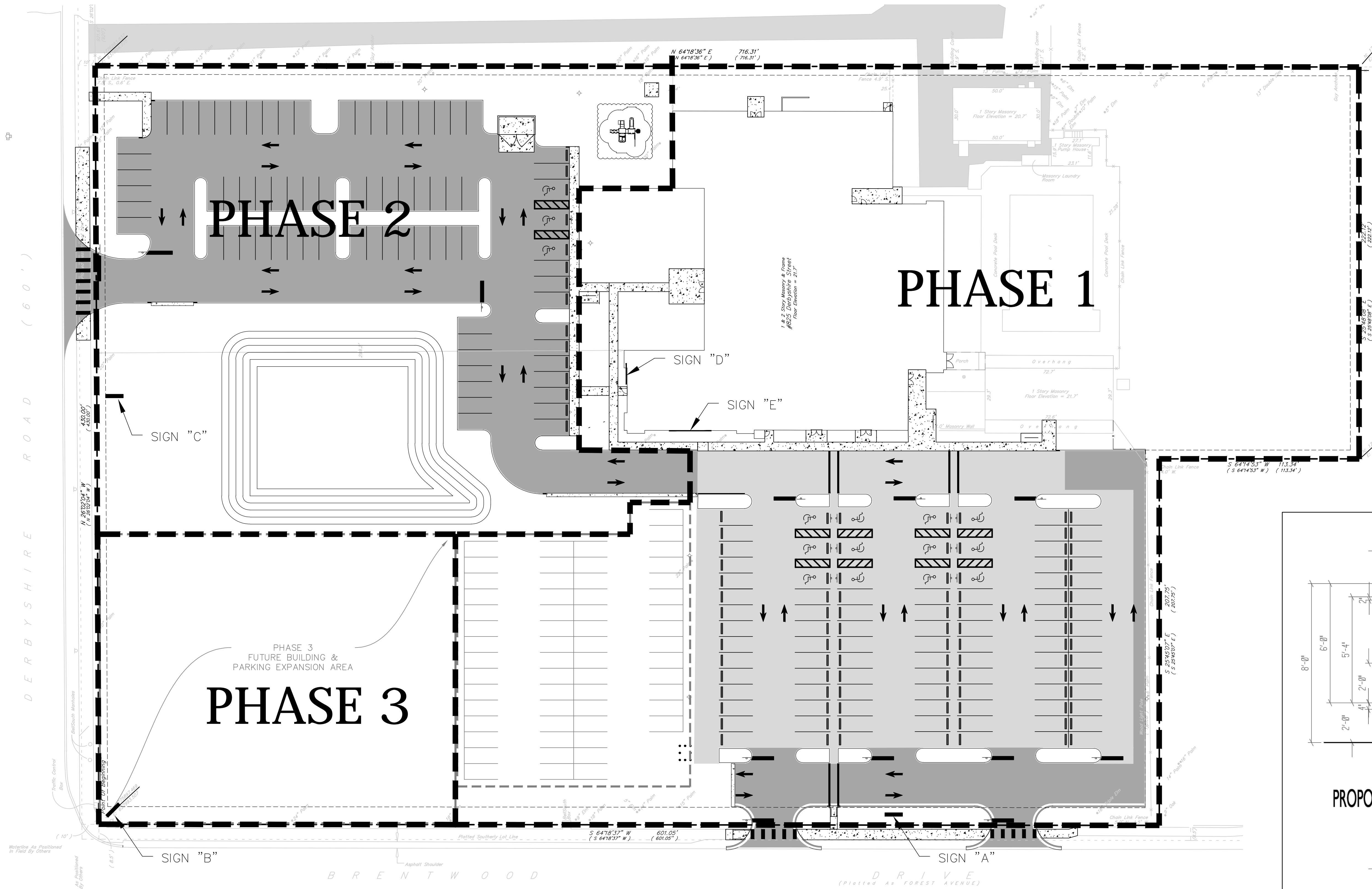
FILE	PROJECT
1401.1	1401-1

DESIGNER	DRAWN BY
1	MRZ

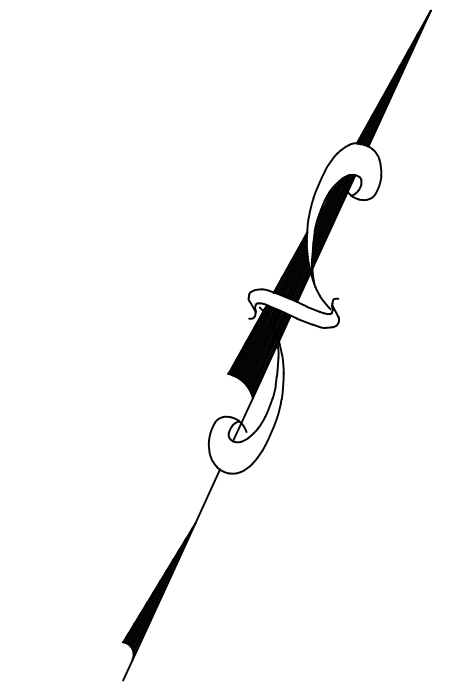
MICHAEL R. ZAFFINO, P.E. #74869
NOT VALID UNLESS SIGNED & SEALED

ALLAN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE 113
ORLANDO BEACH, FL 32174
TEL: (407) 889-3927
FAX: (888) 873-3927

A

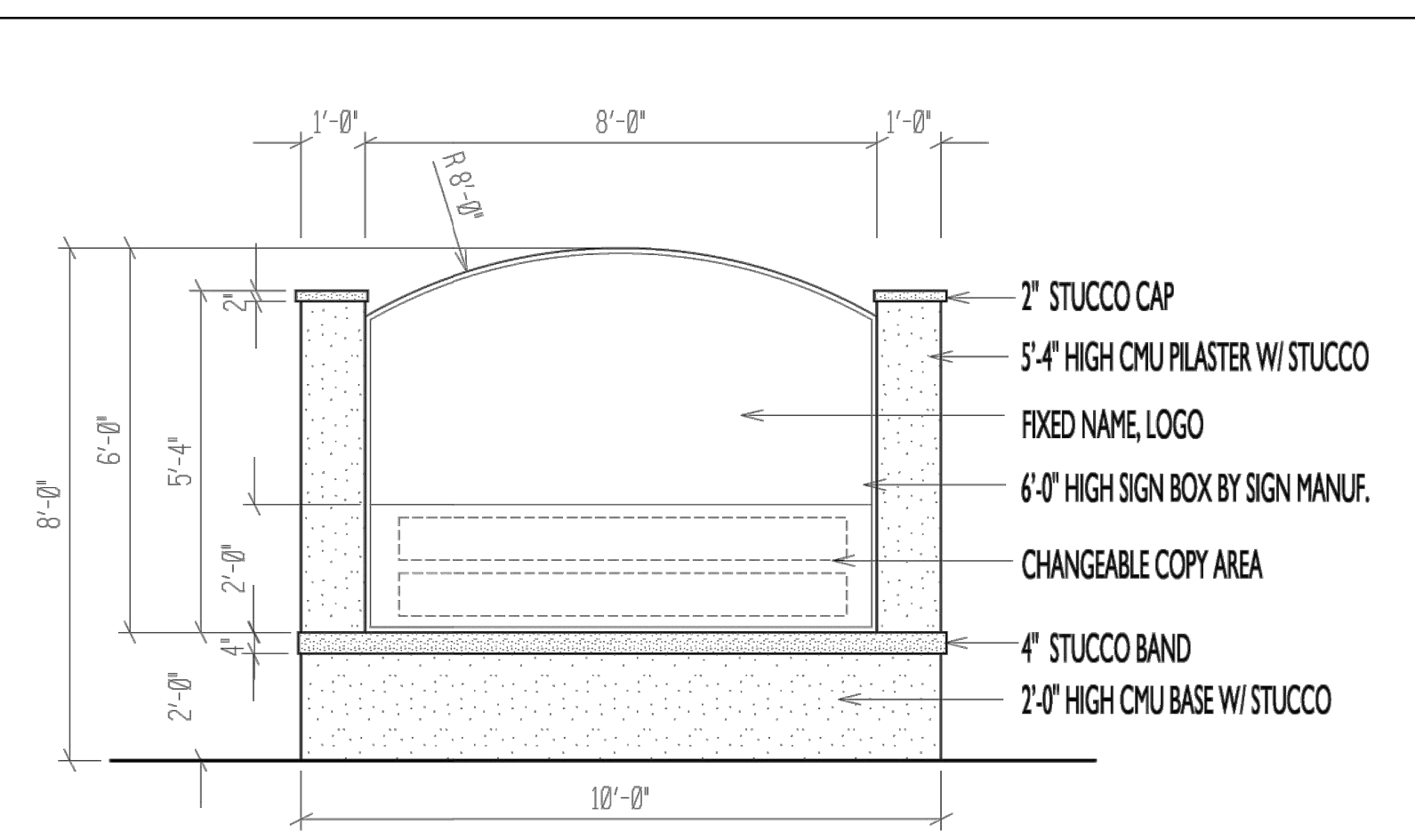


CITY APPROVAL STAMP - CITY ID# DR2014-130

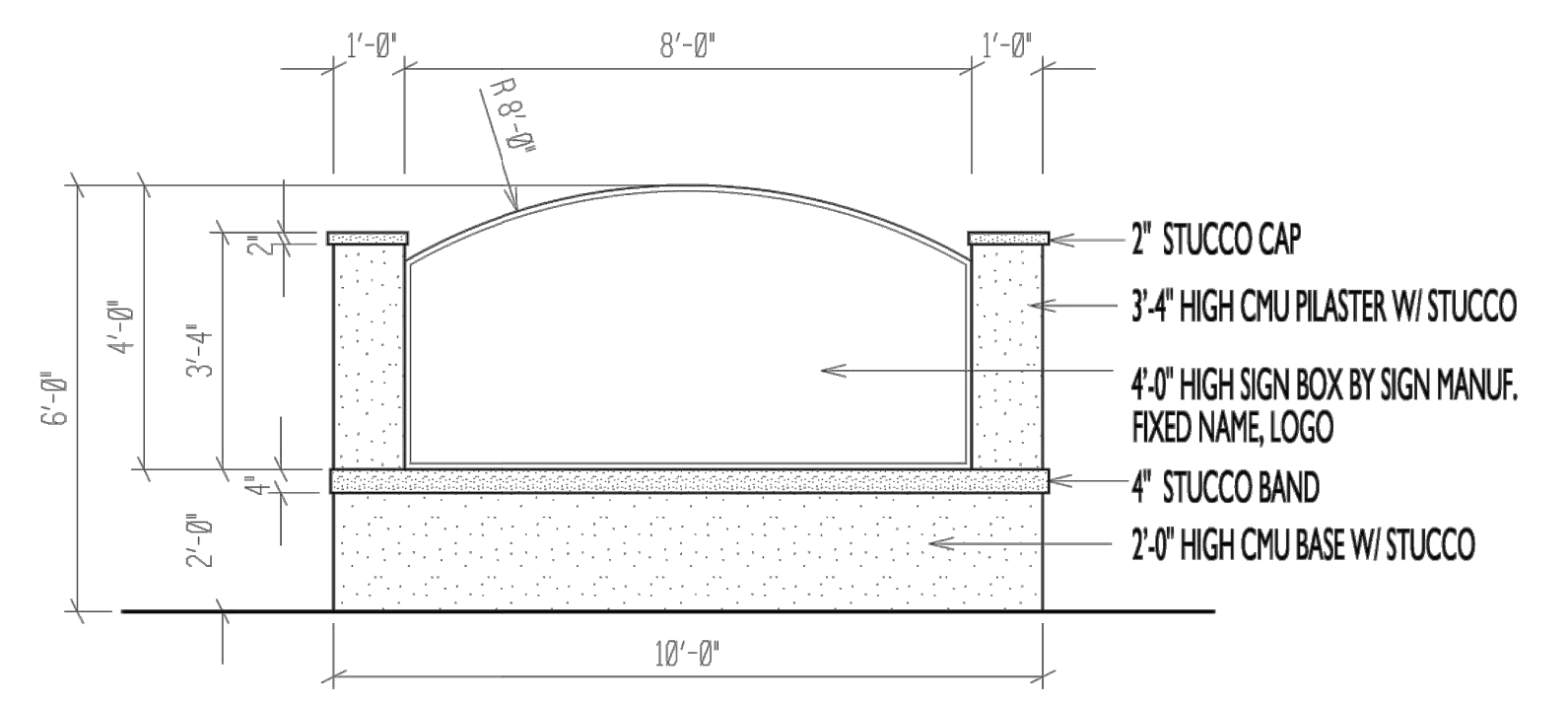


(IN FEET)
1 inch = 30 ft.

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
SIGN PLAN & PHASING PLAN



PROPOSED CONCEPTUAL SIGN ELEVATION (BRENTWOOD)



PROPOSED CONCEPTUAL SIGN ELEVATION (DERBYSHIRE)

MONUMENT SIGN	MAX. SURFACE AREA	MIN. SETBACK
SIGN "A"	80 SF TOTAL (60 SF FIXED+ 20 SF CHANGEABLE COPY)	5 FEET
SIGN "B"	60 SF FIXED	5 FEET
SIGN "C"	60 SF FIXED	5 FEET
WALL SIGN		
SIGN "D"	48 SF	
SIGN "E"	96 SF	
SIGN "F"	48 SF	

PHASING SCHEDULE:

PHASE 1 SHALL CONSIST OF THE MODIFICATIONS AND ADDITIONS TO THE EXISTING BUILDING AND PARKING AREA, AND SITE AND BUILDING MODIFICATIONS WITHIN THE LIMITS OF THE PHASE 1 AREA OUTLINED ABOVE. LANDSCAPING WILL ONLY BE INSTALLED WITHIN THE PERIMETER OF THE PHASE 1 BOUNDARIES.

PHASE 2 SHALL CONSIST OF THE INSTALLMENT OF ALL THE REST OF THE PERIMETER LANDSCAPING AS SHOWN ON THE LANDSCAPE PLANS. IT SHALL ALSO CONSIST OF THE INSTALLMENT OF A STORM WATER POND, PLAYGROUND, AND PARKING LOT EXPANSION AS SHOWN WITHIN THE LIMITS OF PHASE 2 OUTLINED ABOVE.

PHASE 3 SHALL BE LIMITED TO A FUTURE BUILDING, ASSOCIATED PARKING AND STORM- WATER TO BE LOCATED WITHIN THE LIMITS OF THE PHASE 3 AREA OUTLINED ABOVE.

SCHEDULES FOR COMMENCEMENT AND COMPLETION OF EACH PHASE IS AS STATED IN THE PLANNED DEVELOPMENT AGREEMENT.

NO.	DATE	REVISION	BY
5	8/31/18		KAB
4	6/18/18		KAB
3	5/24/18	1st AMENDMENT TO PD-G	KAB
2	5/18/15		MRZ
1	1/18/14		MRZ

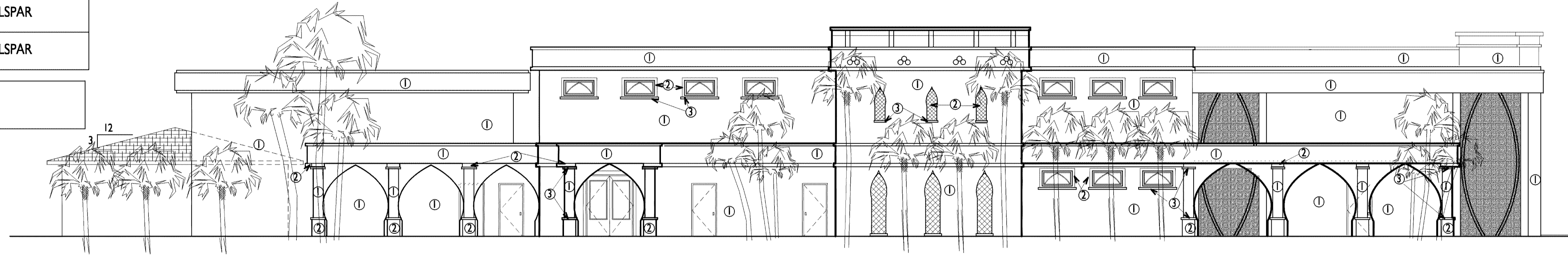
DESIGNER	DATE	SCALE
KAB	4/15/2014	1"=30'

FILE	PROJECT
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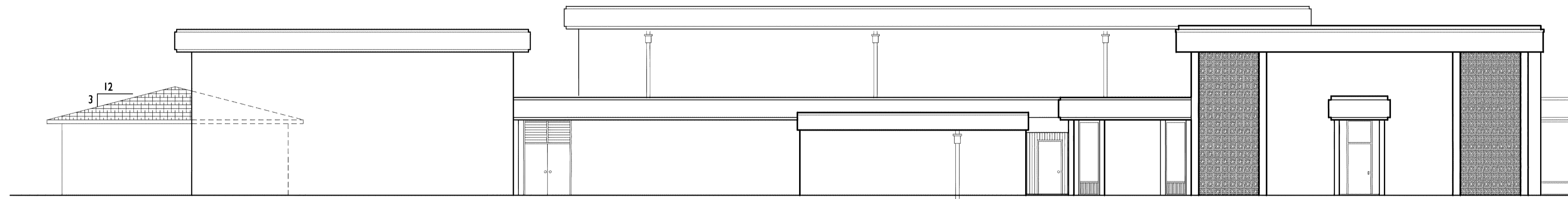
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MARK	COLOR NAME	COLOR NUMBER	MANUFACTURER
①	BERMUDA SAND	7002-10	VALSPAR
②	LA FONDA OLIVE	6006-6B	VALSPAR
③	LA FONDA DEEP OLIVE	6006-6C	VALSPAR

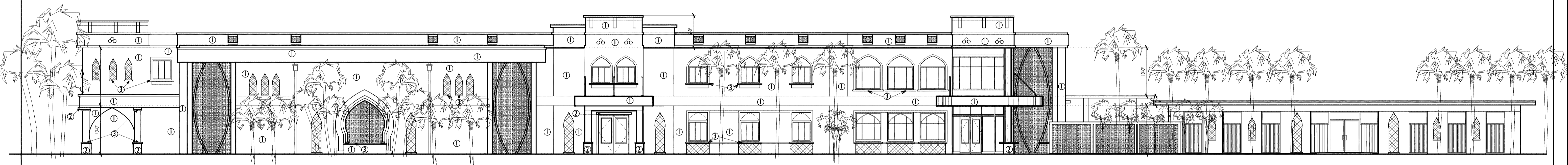
NOTE:
ALL STOREFRONT & WINDOW FRAMES TO BE WHITE



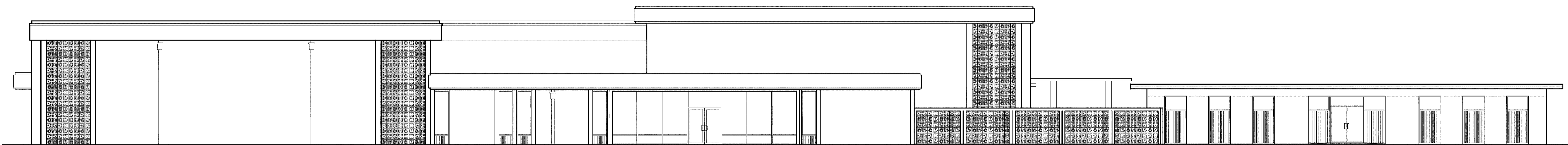
PROPOSED SIDE ELEVATION
(WEST) SCALE: 1"=10'-0"



EXISTING SIDE ELEVATION
(WEST) SCALE: 1"=10'-0"

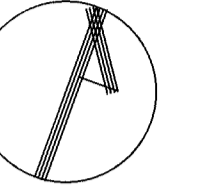


PROPOSED FRONT ELEVATION
(SOUTH)



EXISTING FRONT ELEVATION
(SOUTH)

NORTH



"ISLAMIC CENTER OF DAYTONA BEACH"

PROJECT LOCATION: DERBYSHIRE ROAD, DAYTONA BEACH,
VOLUSIA COUNTY, FLORIDA

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SEWER AND GAS SERVICE LOCATIONS.

-BFY Associates Inc.
AA 26001107
Architecture / Consulting / Planning
Roman Yurkiewicz, Architect FL Reg. No. AR 0015612
203 Glenview Blvd, Daytona Beach, FL 32118
Ph: 386/258-2261 Email: bfy4@aol.com

DATE: AUGUST 30, 2014

ELEVATIONS

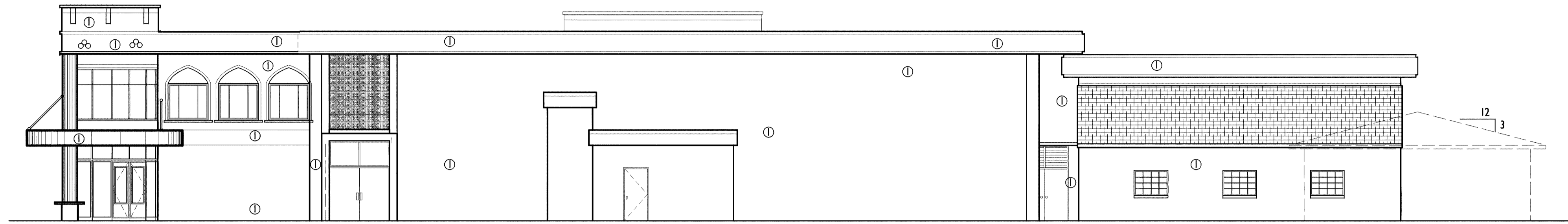
SHEET #
A3

Roman Yurkiewicz
FL Reg. No. AR 0015612
Registered Architect

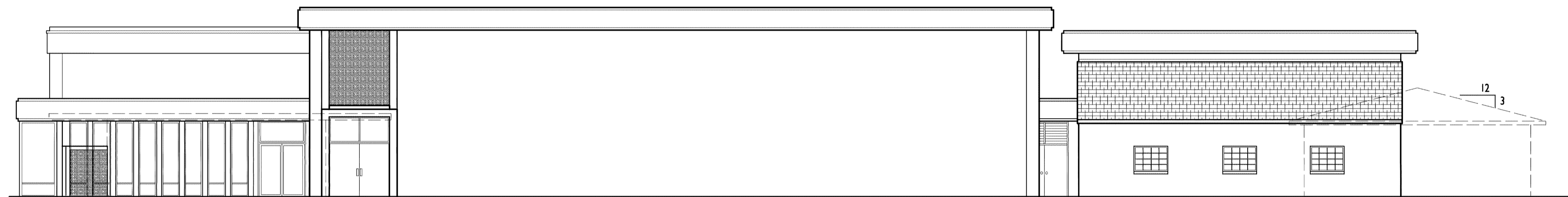
EXTERIOR COLOR SELECTIONS

MARK	COLOR NAME	COLOR NUMBER	MANUFACTURER
①	BERMUDA SAND	7002-10	VALSPAR
②	LA FONDA OLIVE	6006-6B	VALSPAR
③	LA FONDA DEEP OLIVE	6006-6C	VALSPAR

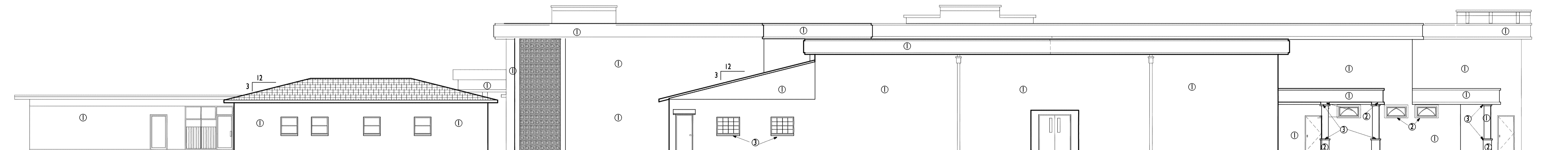
NOTE:
ALL STOREFRONT & WINDOW FRAMES TO BE WHITE



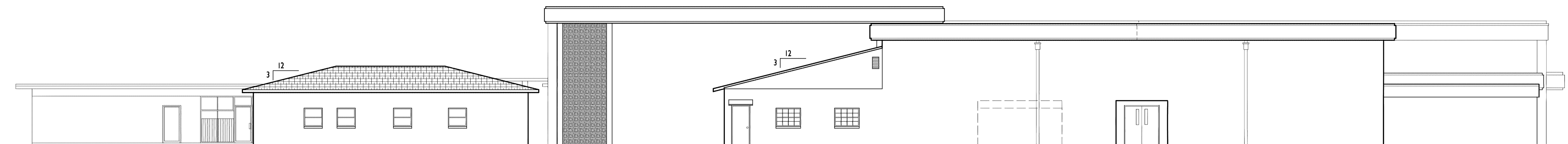
**PROPOSED SIDE ELEVATION
(EAST)** SCALE: 1/8"=1'-0"



**EXISTING SIDE ELEVATION
(EAST)** SCALE: 1/8"=1'-0"

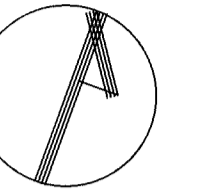


**PROPOSED BACK ELEVATION
(NORTH)** SCALE: 1/8"=1'-0"



**EXISTING BACK ELEVATION
(NORTH)** SCALE: 1/8"=1'-0"

NORTH



"ISLAMIC CENTER OF DAYTONA BEACH"

PROJECT LOCATION: DERBYSHIRE ROAD, DAYTONA BEACH,
VOLUSIA COUNTY, FLORIDA

ALL WORK TO COMPLY W/ 2007 FBC, W/ 2009 REVISIONS.
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SEWER AND GAS SERVICE LOCATIONS.

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AA 26001107
Architecture / Consulting / Planning
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Ph: 386/258-2261 Email: bfy4@aol.com

DATE: AUGUST 30, 2014

ELEVATIONS

SHEET #
A4

Roman Yurkiewicz
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Registered Architect

ARCHITECT;

-BFY Associates Inc.
Roman Yurkiewicz, FL Reg. No. AR 0015612
645 N. HALIFAX AV, Daytona Beach, FL 32118
Ph: 386/258-2261 Email: bfy4@aol.com

CONSULTANTS;

REVISIONS;

"ISLAMIC CENTER
OF DAYTONA BEACH"

PROJECT LOCATION:
825 DERBYSHIRE ROAD, DAYTONA BCH,
VOLUSIA COUNTY, FL 32114

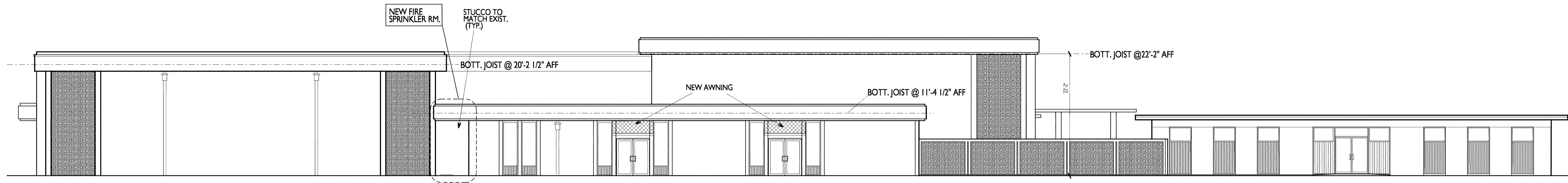
DATE: JUNE 21, 2018

PROPOSED ELEVATIONS

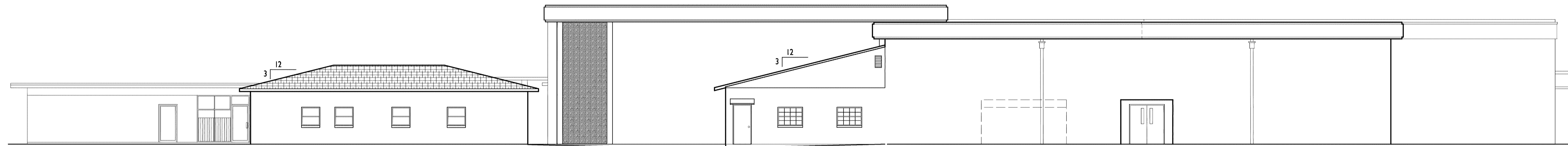
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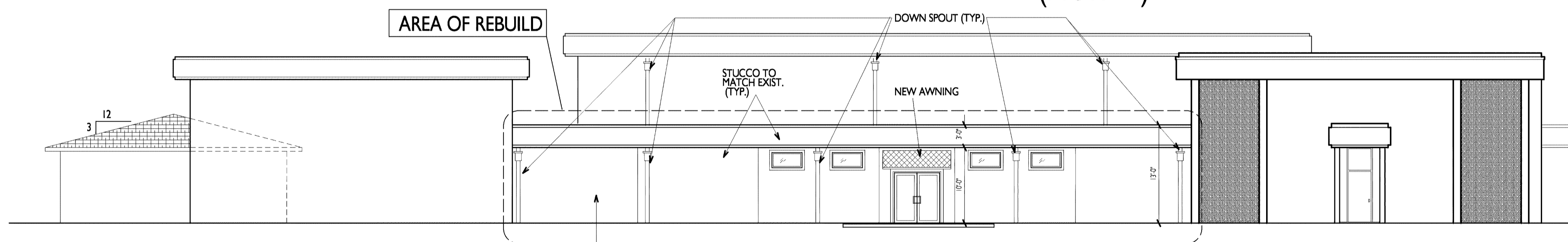
Roman Yurkiewicz
FL Reg. No. AR 0015612
Registered Architect



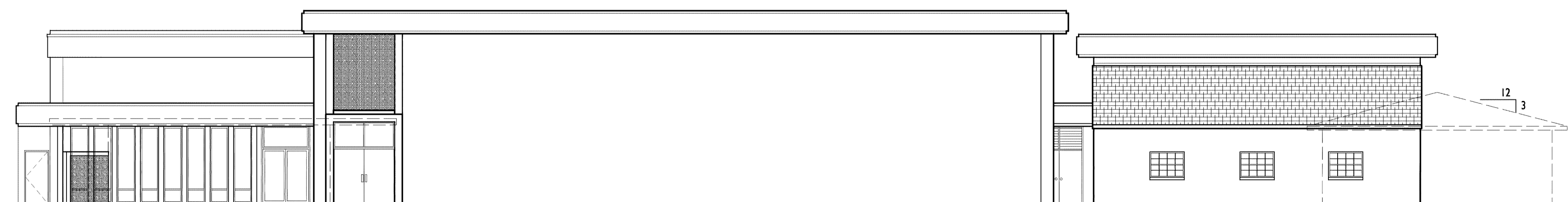
PROPOSED FRONT ELEVATION
(SOUTH) SCALE: 1/8"=1'-0"



PROPOSED BACK ELEVATION
(NORTH) SCALE: 1/8"=1'-0"



PROPOSED SIDE ELEVATION
(WEST) SCALE: 1/8"=1'-0"



PROPOSED SIDE ELEVATION
(EAST) SCALE: 1/8"=1'-0"

Document prepared by:
The Alann Engineering Group, Inc
880 Airport Rd , Suite 113
Ormond Beach, FL 32174

Return recorded document to:
City of Daytona Beach Records Clerk
P O Box 2451
Daytona Beach, FL 32115-2451

ISLAMIC CENTER OF DAYTONA BEACH PLANNED DISTRICT AGREEMENT

The CITY OF DAYTONA BEACH, FLORIDA, a Florida municipal corporation located in Volusia County, Florida ("City"), and The Islamic Center of Daytona Beach, Inc., the record title property owner ("Owner" or "Developer"), hereby agree and covenant, and bind their heirs, successors, and assigns, as follows:

1. PROPERTY DESCRIPTION AND OWNERSHIP.

A. The property subject to this Agreement consists of approximately 6.521 acres of real property ("Property") and is described in Exhibit "A", attached hereto and by reference made a part hereof.

B. The Property is under the sole ownership of The Islamic Center of Daytona Beach, Inc.

2. EXHIBITS.

The Exhibits listed below are by reference made a part hereof, and copies or reduced size copies are attached hereto. Full-sized copies of the Exhibits shall be retained by the City Clerk and shall be controlling in case of any ambiguity in the Exhibits. In the event of a conflict between the graphic illustrations of any Exhibit and the textual provisions of this Agreement, the textual provisions shall control.

Exhibit A: Property legal description, survey.

Exhibit B: Site Plan, rev. date July 27, 2015, prepared by The Alann Engineering Group, Inc.

Exhibit C: Architectural Elevations, rev. date August 30, 2014, prepared by BFY Associates, Inc.

Exhibit D: Landscape Plan, rev. date April 13, 2015, prepared by Stern Design Group, P.A.

Exhibit E: Sign Plan, rev. date June 29, 2015, prepared by BFY Associates, Inc.

3. DEVELOPMENT PLAN.

A. Developer has designated the Property as "**The Islamic Center of Daytona Beach**".

B. The Property will be developed as a **Planned Development – General (PD-G)** pursuant to the City's Land Development Code (LDC). Development shall be controlled by the LDC and the terms and provisions of this Agreement. In the event of a conflict between this Agreement and the LDC or other ordinances, this Agreement shall control. If this Agreement fails to address a particular subject or requirement, the applicable requirements of the LDC or other City ordinance in effect at the time of development plan approval shall control.

C. Development of the Property shall be consistent with Exhibit B (Site Plan). Exhibit B generally depicts the planned layout of buildings, parking areas, driveways, common areas, and other planned features or improvements to the Property.

D. **ADDITIONAL LOT DEVELOPMENT CRITERIA.** The following lot development criteria shall apply to the Property:

- (1) Maximum building height of 35 feet;
- (2) Maximum individual building size of 99,421 sq. ft.
- (3) Setbacks: side 35 ft.; front 30 ft.; rear 11.9 ft.; side street 35 ft.;
- (4) 35% Maximum building coverage;
- (5) 30% Minimum open space;
- (6) 70% Maximum impervious surface area;
- (7) Maximum floor area ratio (FAR) of 3.0;
- (8) Slopes within any dry retention pond(s) shall be 4:1 without a fence and maximum of 3:1 with a fence;
- (9) Retention pond(s) shall count toward open space requirements; and
- (10) Parking shall be permitted in the front yard and shall meet the minimum landscape buffer.

4. CONFORMANCE WITH COMPREHENSIVE PLAN; CONCURRENCY; PERMITS.

A. The City has determined that the Property is suitable in size, location, and character for the uses proposed, and that the uses proposed are consistent with the City's comprehensive plan.

B. Developer shall be responsible for obtaining all development permits required by the LDC and applicable federal and state laws. Developer specifically acknowledges that approval of this Agreement does not constitute a Concurrency Certificate as required by the

LDC, and that Developer will be required to separately obtain a Concurrency Certificate or, where applicable, to enter into proportionate fair share agreement. Approval of this agreement and exhibits is not a permit to begin clearing, to begin site work, or to begin construction without necessary permits.

C. The City agrees to issue the required permits for development of the Property in the manner set forth in this Agreement and the LDC.

5. PERMITTED USES.

The following uses are permitted within the Property:

Place of Worship with the following support services:

- Five daily Prayers every day of the year
- Friday Sermon and Prayer
- Quran reading and recitation classes for men, women and children
- Islamic Studies classes for men, women and children
- Two annual Islamic Eid (Holiday) Festivities

Education Uses:

- Full time Islamic School
- Weekend school
- Daycare for Members' children for when children are off school (national holidays, teacher duty days, etc.)
- Islamic Heritage Museum

Recreational Activities:

- Playground with Jungle Gym Equipment
- Basketball
- Outdoor soccer
- Indoor soccer
- Racquetball
- Volleyball
- Swimming
- Aerobics
- Dodge Ball

Social & Personal Development:

- Fundraising Activities
- Weekly dinners & Socialization
- Cooking Classes
- Art Classes
- Computer Education Classes
- Swimming Classes
- Martial Arts Classes
- Community Garden
- Chess, video games, table tennis, etc.
- Family Movie Nights

- **Book Reading Nights**
- **Teen Girls activities**
- **Teen Boys activities**
- **Young Children activities**

Member Counseling & Support Services

Retail to support Islamic Community such as thrift store, bakery

Health facilities such as medical clinic for members

6. INFRASTRUCTURE.

A. An on-site stormwater retention facility will be constructed in conjunction with the development. The stormwater retention facility will be maintained at a level consistent with the standards of the St. Johns River Water Management District. Collection and transmission facilities shall be located pursuant to the approved site plan, or site plans approved for individual lots or structures.

7. PROPERTY OWNERS' ASSOCIATION AND COMMON AREA MAINTENANCE.

There will be no common areas in the development.

8. ARCHITECTURAL AND DESIGN STANDARDS.

A. All buildings and accessory structures constructed within the Property shall be developed in compliance with the requirements of this section, and with the applicable provisions of the LDC relating to architectural standards where they do not conflict with the provisions of this section.

B. All of the following requirements shall be met within the Property:

(1) All buildings and accessory structures shall be consistent with a common architectural theme. The theme shall be established by harmoniously coordinating the general appearance of all buildings and accessory structures, including but not limited to: exterior wall finishes or materials; roof styles, slopes, and materials; colors; and architectural details and ornamentation.

(2) All structures shall complement one another and shall convey a sense of quality and permanence. Lower grade materials, such as unfinished concrete and pre-fabricated metal, shall be prohibited.

(3) Corporate prototype design and materials shall be permitted provided they comply with the provisions of this section.

(4) False or real windows shall be provided on all elevations visible from public right of way in sufficient size and number to complement the proportions of the

building.

(5) All buildings and accessory structures shall generally be consistent with the Exhibit C (Architectural Elevations) unless, prior to issuance of the initial building permit, Developer submits and the City approves a different conceptual elevation. The City shall have the right to reject any proposed elevation which does not meet the requirements herein, or which involves the use of fewer architectural details and ornamentation than are set forth in Exhibit C.

(6) Through the LDC site plan review process, the City reserves the right to review the proposed construction of all buildings and structures, to recommend the substitution or inclusion of colors, materials, architectural details, and ornamentation, and to require or prohibit the use of the same to ensure compliance with the requirements of this section.

(7) No outside display or storage shall be permitted.

(8) No vending machines shall be permitted on outside walkways or other outdoor pedestrian areas.

(9) The physical appearance of all parking lot lighting fixtures shall be consistent.

9. ENVIRONMENTAL CONSIDERATIONS.

A. Development of the Property shall comply with the LDC tree preservation requirements. Developer shall comply with all rules, statutes, and regulations pertaining to protected wildlife species, including but not limited to the rules and permitting requirements of the Florida Game and Freshwater Fish Commission concerning gopher tortoises.

B. LANDSCAPING:

(1) Where required shade trees will interfere with overhead utility lines, understory trees shall be permitted to replace shade trees at a 1 to 1 ratio.

(2) Palm trees shall be permitted for up to 50% of the required shade trees.

10. SIGNAGE.

The PD shall have a uniform sign program, as follows:

A. One monument sign shall be permitted at each of the following general locations, as more specifically described on Exhibit E, including as to setbacks:

(1) Sign A - On the Brentwood Drive frontage, with a maximum surface area

of 80 square feet (SF) (60 SF fixed copy area; 20 SF changeable copy);

- (2) Sign B - At the corner of Derbyshire Rd. and Brentwood Dr. for the Phase 2 building, with a fixed copy area of 60 SF.
- (3) Sign C - On the Derbyshire Road frontage, with a maximum fixed copy area of 60 SF; and

The pedestal of each monument shall be constructed of materials complimentary with the walls of the building, and the colors of each sign face shall complement and coordinate with the appearance of the buildings on the respective lot.

B. Wall signage shall be permitted:

- (1) Sign D - On the main building facing Derbyshire Rd., with a maximum copy area of 48 SF; and
- (2) Sign E - On the face of the main building facing Brentwood Dr., with a maximum copy area of 96 SF;
- (3) Sign F - On the Phase 2 building, with a maximum copy area of 48 SF.

11. EFFECTIVE DATE; COMPLETION SCHEDULE.

A. This Agreement shall be effective upon execution by all parties. The restrictions on use and development imposed by this Agreement shall be binding upon all successors in interest in the Property, unless and until the City alters or eliminates such restrictions in the course of its actions as zoning authority.

B. Application shall be submitted for all construction permits for the development, or for the first phase of a phased development, within 18 months of the approval of this Agreement by the City Commission. The filing of an appeal of the land development order by any person shall toll the time for permitting until final resolution of the appeal. If development is phased, application for construction permits for subsequent phases shall be submitted within 30 months from the date of initial approval.

C. Construction of phase one shall be substantially complete within 5 years of the approval of this Agreement. Construction of any other phase must be substantially complete within 10 years of the initial approval of this Agreement.

D. One 12-month extension of the scheduled application or completion dates may be permitted as a minor modification to this Agreement.

E. Failure to comply with the schedule set out above shall cause the development rights granted pursuant to this Agreement to lapse.

12. MINOR MODIFICATIONS.

A. The following may be administratively authorized as minor modifications to this Agreement:

(1) Amendments to an Exhibit that are necessary for compliance with the provisions of this Agreement, the LDC, or extra-jurisdictional permitting requirements, and address technical considerations that could not reasonably be anticipated during the Planned Development approval process;

(2) Have no material effect on the character of the approved PD district, the basic concept and terms of the PD Plan/Agreement. These may include, but are not limited to, the following:

a) Structural alterations that do not significantly affect the basic size, form, style, and appearance of principal structures;

b) Minor changes in the location and configuration of streets and driveways that do not adversely affect vehicular access and circulation on or off the site;

c) Minor changes in the location or configuration of buildings, parking areas, landscaping, or other site features;

d) Minor changes in the location and configuration of public infrastructure facilities that do not have a significant impact on the City's utility and stormwater management systems;

e) Increases of five percent or less in the total number of parking spaces.

(3) Modifications of up to 20% to any of the lot dimensional requirements and associated Exhibit revisions, where such modifications are necessary to address minor Exhibit errors or unanticipated conditions that reasonably need to be addressed to ensure the development plan can be implemented, EXCEPT:

a) Modifications, such as to floor area ratios, that increase intensity or density of the entire project or any phase by more than 2%;

b) Modifications that increase building height or decrease setbacks, yards, or landscaping along the perimeter of the Property by more than 10%;

c) Modifications that, when combined with previously approved minor modifications, would result in a cumulative change of more than 20% of the original requirement for the area in question; and

d) Modifications that would unduly impact City-owned public utilities.

B. Requests for minor modifications shall be submitted in writing on forms provided by the City. Requests shall be reviewed pursuant to the general technical review process described in the LDC.

C. Denial of a requested minor modification shall be issued in writing to the applicant. Upon denial, or if more than 60 days elapses after the submittal of a completed application without a decision by the City, the applicant may apply for an amendment to the agreement.

D. Approved modifications shall be noted on the official plan documents.

13. AMENDMENTS.

A. Any revision to this Agreement other than a minor modification as described above shall require an amendment approved by the City Commission after review and recommendation by the Planning Board. Requests for an amendment must be submitted in writing and, except as otherwise provided herein, shall be processed in accordance with the LDC. Notice of public hearings shall be provided as if the application is one to rezone property.

14. VARIANCES.

This Agreement shall not be deemed to prohibit any owner of property within the planned development from seeking or obtaining one or more variances from the requirements of this Agreement pursuant to the LDC. In addition to those entitled to notice pursuant to the LDC, notice of any public hearing to consider a proposed variance shall be provided to all persons owning property within the planned development. No such variance shall be deemed to require formal amendment to this Agreement.

15. POLICE POWER AND SOVEREIGN IMMUNITY NOT WAIVED.

Nothing contained in this Agreement shall be construed as a waiver of or contract with respect to the regulatory and permitting authority of the City as it now or hereafter exists under applicable laws, rules, and regulations. Further, nothing contained in this Agreement shall be construed as a waiver of or attempted waiver by the City of its sovereign immunity under the constitution and laws of the State of Florida.

16. COMPLETE AGREEMENT; AGREEMENT TO BE RECORDED.

A. This Agreement represents the complete understanding by and between the

parties with respect to the development and use of the Property. Any and all prior agreements between the parties with respect to any subject comprehended by this Agreement is hereby voided and superseded by this Agreement.

B. This Agreement shall be recorded in the Public Records of Volusia County, Florida, at Developer's expense. The restrictions on use and development imposed by this Agreement shall be binding upon all successors in interest in the Property.

17. VENUE AND SEVERABILITY.

A. In the event of any claim, action, litigation, or proceeding under this Agreement, venue shall be in Volusia County, Florida.

B. If any provision of this Agreement is held by a court of competent jurisdiction to be invalid or otherwise unenforceable, such holding shall not affect the validity or enforceability of any other provision of this Agreement unless the holding so states.

IN WITNESS WHEREOF, the parties hereto attached their hands and seals on the dates set forth below.

[Signature pages following]

Signed, sealed and delivered in the presence of:

THE CITY OF DAYTONA BEACH, FLORIDA, a Florida municipal corporation

Sandra Francis
Witness 1
Sandra Francis
Print Name of Witness 1

By: Derrick L. Henry
Derrick L. Henry, Mayor

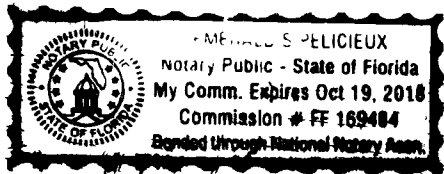
Christy Gillespie
Witness 2
CHRISTY GILLESPIE
Print Name of Witness 2

Attest:
By: Letitia LaMagna
Letitia LaMagna, City Clerk

Date: 11-25-2015

STATE OF FLORIDA
COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this 25th day of November, 2015 by Derrick L. Henry and Letitia LaMagna Mayor and City Clerk, respectively, of The City of Daytona Beach, Florida, a chartered municipal corporation, on behalf of the City. They are personally known to me and did not take an oath.



Emerald Pelicieux
Notary Public
Commission No: 169484

Attachment C

Signed, sealed and delivered in the presence of:

ISLAMIC CENTER OF DAYTONA BEACH, INC.

[Signature]

By: [Signature]
Name: HASSAN SABOUNGI
Title: President

Witness 1
MUSTAFA ISA
Print Name of Witness 1

Date: October 12, 2015

[Signature]

[Corporate Seal]

Witness 2
Hossam Rez.qa
Print Name of Witness 2

Signed, sealed and delivered in the presence of:

[DEVELOPER, IF DIFFERENT FROM OWNER]

Witness 1

Print Name of Witness 1

By: _____
Name: _____
Title: _____

Witness 2

Print Name of Witness 2

Date: _____

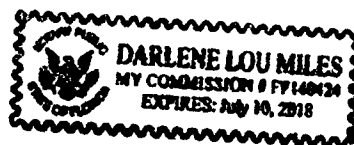
[Corporate Seal]

STATE OF FLORIDA
COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this 12TH day of October, 2015, by Hassan Sabounji as President of Islamic Center of Daytona Beach, referred to in this agreement as "Owner." He or she is personally known to me or produced as identification and did not take an oath.

Darlene Lou Miles
Notary Public
Commission No. _____

STATE OF Florida

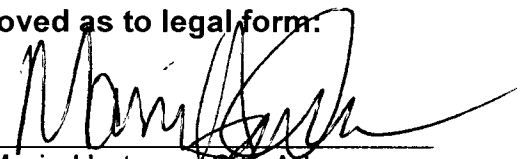


COUNTY OF Volusia

The foregoing instrument was acknowledged before me this ____ day of _____, 201_, by _____ as _____ of _____, referred to in this agreement as "Developer". He/she is personally known to me and did not take an oath.

Notary Public
Commission No: _____

Approved as to legal form:

By: 
Marie Hartman, City Attorney

[Exhibit pages attached:]

EXHIBIT A

Legal Description of the Property

EXHIBIT B

Site Plan

EXHIBIT C

Architectural Elevations

EXHIBIT D

Landscape Plan

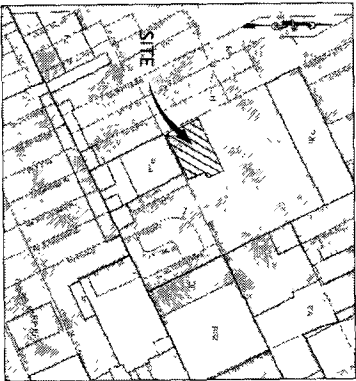
EXHIBIT E

Sign Plan

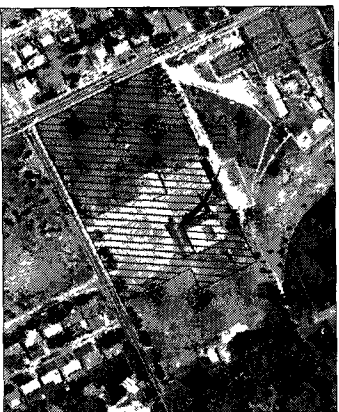
EXHIBIT A

A PORTION OF LOT 2, BLOCK 31, MASON & CARSWELL'S SUBDIVISION OF HOLLY HILL, OF RECORD IN MAP BOOK 2, PAGE 90, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHERLY LINE OF BRENTWOOD DRIVE, A 50 FOOT STREET AS NOW LAID OUT AND OCCUPIED, WHERE SAME IS INTERSECTED BY THE EASTERLY LINE OF DERBYSHIRE ROAD, A 60 FOOT STREET AS NOW LAID OUT AND OCCUPIED; THENCE NORTH 26°02'04" WEST, ALONG SAID EASTERLY LINE OF DERBYSHIRE ROAD, A DISTANCE OF 430.00 FEET TO A POINT WHERE SAME IS INTERSECTED BY THE NORTHERLY LINE OF AFOREMENTIONED LOT 2, BLOCK 31, MASON & CARSWELL'S SUBDIVISION OF HOLLY HILL; THENCE NORTH 64°18'36" EAST, ALONG THE NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 716.31 FEET TO A POINT THEREON; THENCE SOUTH 25°48'08" EAST, DEPARTING SAID NORTHERLY LINE, A DISTANCE OF 222.12 FEET TO A POINT; THENCE SOUTH 64°14'53" WEST, A DISTANCE OF 113.34 FEET TO A POINT; THENCE SOUTH 25°45'07" EAST, A DISTANCE OF 207.75 FEET TO A POINT WHERE SAME IS INTERSECTED BY THE AFOREMENTIONED NORTHERLY LINE OF BRENTWOOD DRIVE; THENCE SOUTH 64°18'37" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 601.05 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINING 284,063.347± SQUARE FEET, 6.521± ACRES.

LOCATION / ZONING MAP



SOILS MAP



FLOOD ZONE MAP

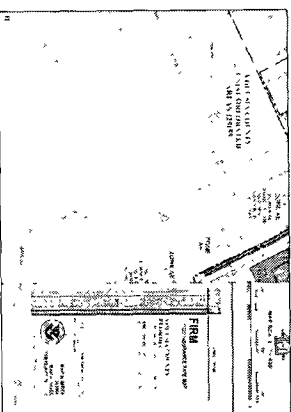


EXHIBIT B ISLAMIC CENTER OF DAYTONA BEACH PLANNED DEVELOPMENT - GENERAL (PD-C) HOUSE OF WORSHIP 825 DERBYSHIRE RD DAYTONA BEACH, FL 32117 CITY ID # DEV2014-130

OWNER
ISLAMIC CENTER OF DAYTONA BEACH, INC.
CONTACT HASSON SABOUNGI
347 S KEECH ST
DAYTONA BEACH, FL 32114
PH. (386) 673-4189
E-MAIL SABOUNGI@AOL.COM

ENGINEER
THE ALANN ENGINEERING GROUP INC
CONSULTING ENGINEERS
880 AIRPORT RD. STE. 118
DAYTONA BEACH, FL 32114
PH. (386) 673-3901 FAX (386) 673-3927

SURVEYOR
DANIELS SURVEYING INC
PROFESSIONAL SURVEYOR & MAPPER
380 CEDAR STREET
DAYTONA BEACH, FL 32117
PH. (386) 251-7885

LEGAL DESCRIPTION

A PORTION OF LOT 2, BLOCK 37, MASON & CARSWELL'S SUBDIVISION OF HOLY HILL, OF RECORD IN DEED BOOK 45, PAGE 20, COMMENCING AT A POINT ON THE NORTHERLY LINE OF BERTWOOD DRIVE, A 50 FOOT STREET AS NOW LAID OUT AND OCCUPIED, WHERE SAID IS INTERSECTED BY THE EASTERLY LINE OF DERBYSHIRE ROAD, A 60 FOOT STREET AS NOW LAID OUT AND OCCUPIED, AT THE NORTH 28 02 04 WEST ALONG SAID EASTERLY LINE OF DERBYSHIRE ROAD, APPROXIMATELY 10' 2' BLOCK 37, MASON & CARSWELL'S SUBDIVISION OF HOLY HILL, THENCE NORTH 64 18 36 EAST ALONG THE NORTHERLY LINE OF SAID LOT 2, A DISTANCE OF 716 31 FEET TO A POINT THEREON, THENCE SOUTH 25 48 08 EAST DEPARTING SAID NORTHERLY LINE, A DISTANCE OF 222 12 FEET TO A POINT, THENCE SOUTH 64 14 53 WEST, A DISTANCE OF 113 34 FEET TO A POINT, THENCE SOUTH 25 48 08 EAST, A DISTANCE OF 601 05 FEET TO THE POINT OF BEGINNING, SAID PARCEL CONTAINING 254 063 3472 SQUARE FEET & 5214 ACRES.

STATEMENT OF INTENT

TO RENOVATE AN EXISTING FACILITY WHICH INCLUDES THE ADDITION OF NEW PARKING LOT AND RELATED INFRASTRUCTURE

SITE DATA

PARCEL NO. 24440 31-0020	PROPOSED BUILDING FOOTPRINT	PROPOSED POOL STRUCTURE
<p>CHURCH ZONING CLASSIFICATION: S1 (SINGLE-FAMILY RESIDENTIAL, S1)</p> <p>PROPOSED ZONING CLASSIFICATION: GENERAL (PD-C)</p> <p>EXISTING LAND USE: EXISTING POTENTIAL PARKS</p> <p>BUILDING FOOTPRINT: 32,181 SF</p> <p>ACCESSORY STRUCTURE: 22 STRUTS</p> <p>LANDSCAPE BUFFER: FRONT: 5 REAR: 5 SIDE: 5</p>	<p>FRONT: 271 SF REAR: 278 SF SIDE: 174</p> <p>PROPOSED: 271 SF REAR: 278 SF SIDE: 174</p> <p>PROPOSED: 271 SF REAR: 278 SF SIDE: 174</p>	<p>FRONT: 271 SF REAR: 278 SF SIDE: 174</p> <p>PROPOSED: 271 SF REAR: 278 SF SIDE: 174</p>

SHEET INDEX

SHEET #	TITLE
C1	DEMOLITION/VERSION CONTROL PLAN
C2A	DIMENSION PLAN
C2B	BUILDING DIMENSION PLAN
C2C	SIGN PLAN & PARKING PLAN
C2A	PAVING, DRAINAGE & UTILITY PLAN
C2B	FIRE CONNECTION WELDER DETAILS
C4, C12	CONSTRUCTION DETAILS

- GENERAL NOTES:**
- EXISTING FOUNDATION SHALL BE IN ACCORDANCE WITH DAYTONA BEACH LAND DEVELOPMENT CODE REQUIREMENTS.
 - NO LOAD SHALL BE EXERCISED EXCEPT ON FILLING AND NO STRUCTURE SHALL BE BUILT ON EXISTING FOUNDATION UNLESS PROPER REMEDIATION IS SUBMITTED TO THE CITY ENGINEER.
 - THE SHOWN FOUNDATION SHALL BE SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.
 - PROVIDE PROTECTIVE CURBS AND DRAINAGE TO PREVENT WATER FROM ENTERING THE FOUNDATION.
 - PROVIDE PROTECTIVE CURBS AND DRAINAGE TO PREVENT WATER FROM ENTERING THE FOUNDATION.
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LAND USE CALCULATIONS

TYPE	AREA (SQ FT)	PERCENT
EXISTING IMPERVIOUS AREA	36,488 SF (22 AC) 13.0%	
EXISTING OPEN SPACE AREA	244,011 SF (5.5 AC) 87.0%	
TOTAL AREA	280,499 SF (6.5 AC)	
PROPOSED IMPERVIOUS AREA	133,005 SF (3.05 AC) 48.8%	
PROPOSED OPEN SPACE AREA	147,494 SF (3.4 AC) 52.2%	
TOTAL AREA	280,499 SF (6.5 AC)	

DATE 03/15/2014

TIME 1:00 PM

SCALE 1" = 10'

DRAWN BY MEY

CHECKED BY MEY

DATE 03/15/2014

TIME 1:00 PM

SCALE 1" = 10'

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CHECKED BY MEY

DATE 03/15/2014

TIME 1:00 PM

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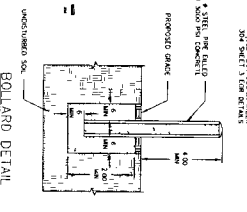
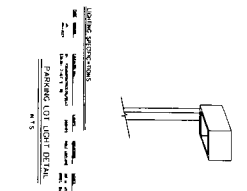
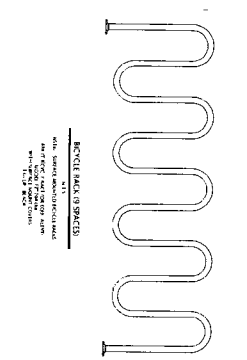
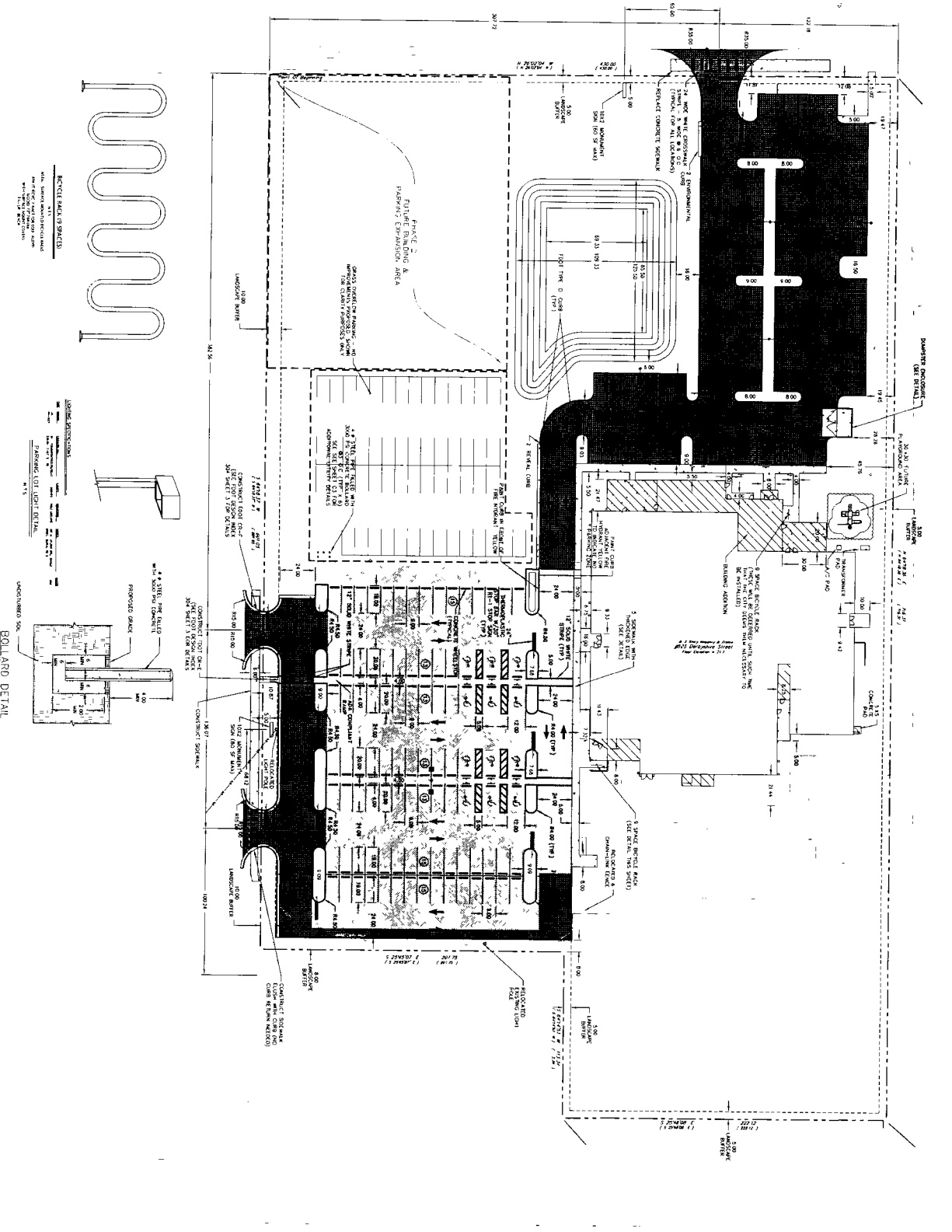
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ISLAMIC CENTER OF DAYTONA BEACH

DAYTONA BEACH, FL

CONCEPT PLAN A

ALANN ENGINEERING GROUP, INC
CONSULTING ENGINEERS
CERTIFICATE NO. 885479
880 AIRPORT ROAD SUITE 118
DAYTONA BEACH, FL 32114
TEL (386) 673-3901
FAX (386) 673-3927



SHEET
C2A OF 12

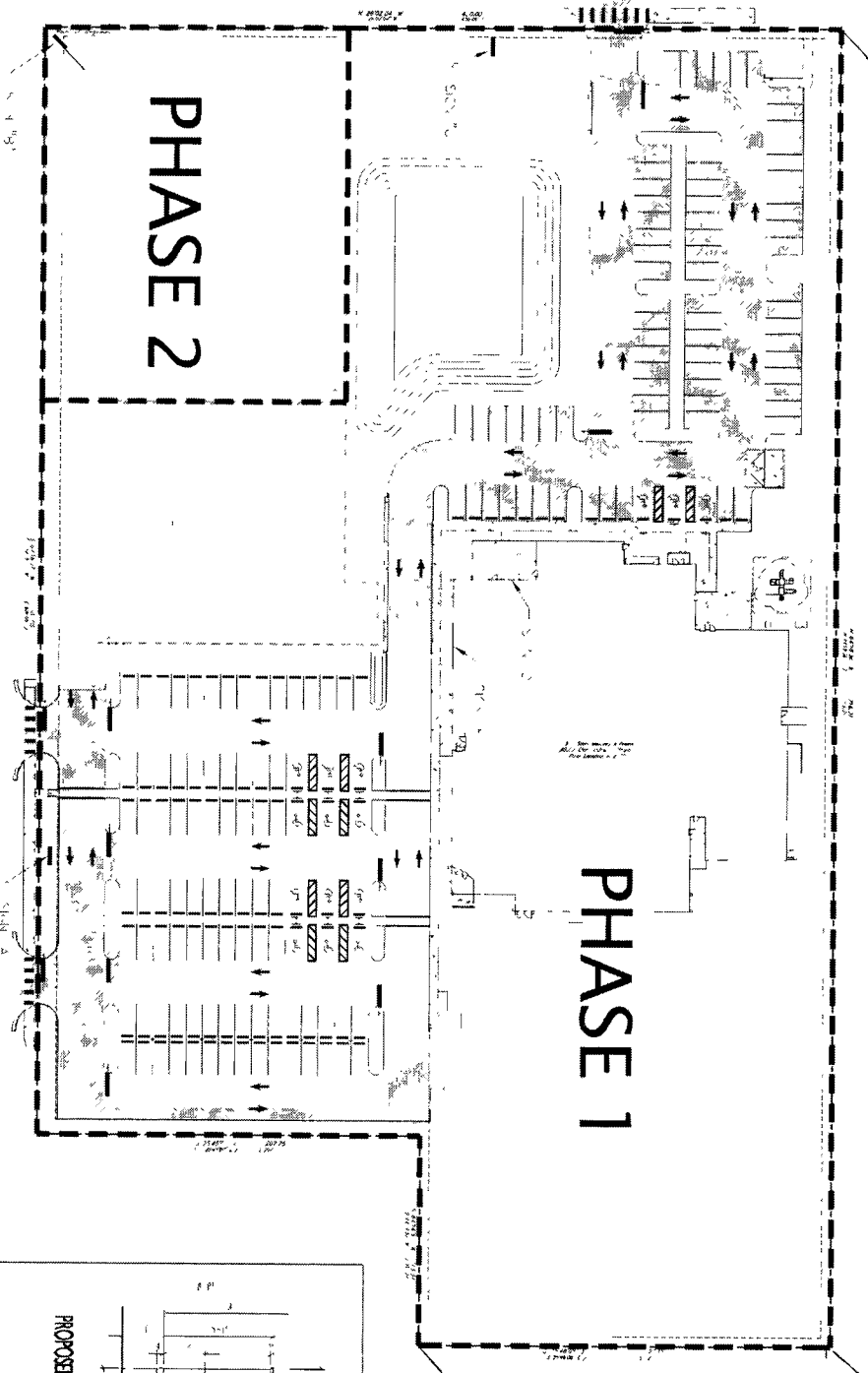
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NO.	DATE	REVISION	BY
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1	11/18/14	PER CITY RAI	MIZ

ISLAMIC CENTER OF DAYTONA BEACH			
DAYTONA BEACH, FL			
DIMENSION PLAN			

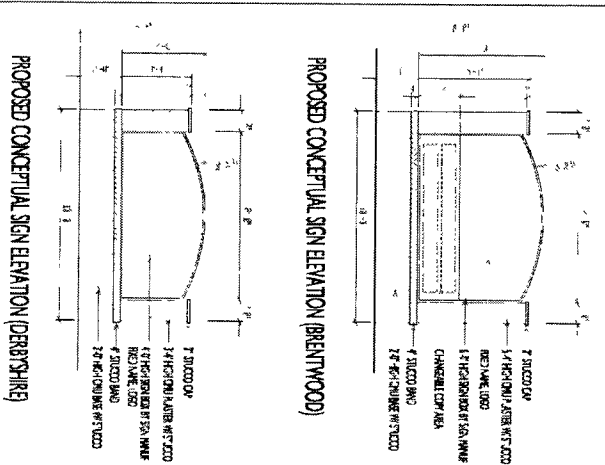
ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. 185479
 880 AIRPORT ROAD, SUITE 111
 ORLANDO BEACH, FL 32774
 TEL (386) 673 7640
 FAX (386) 673 3927

EXHIBIT F



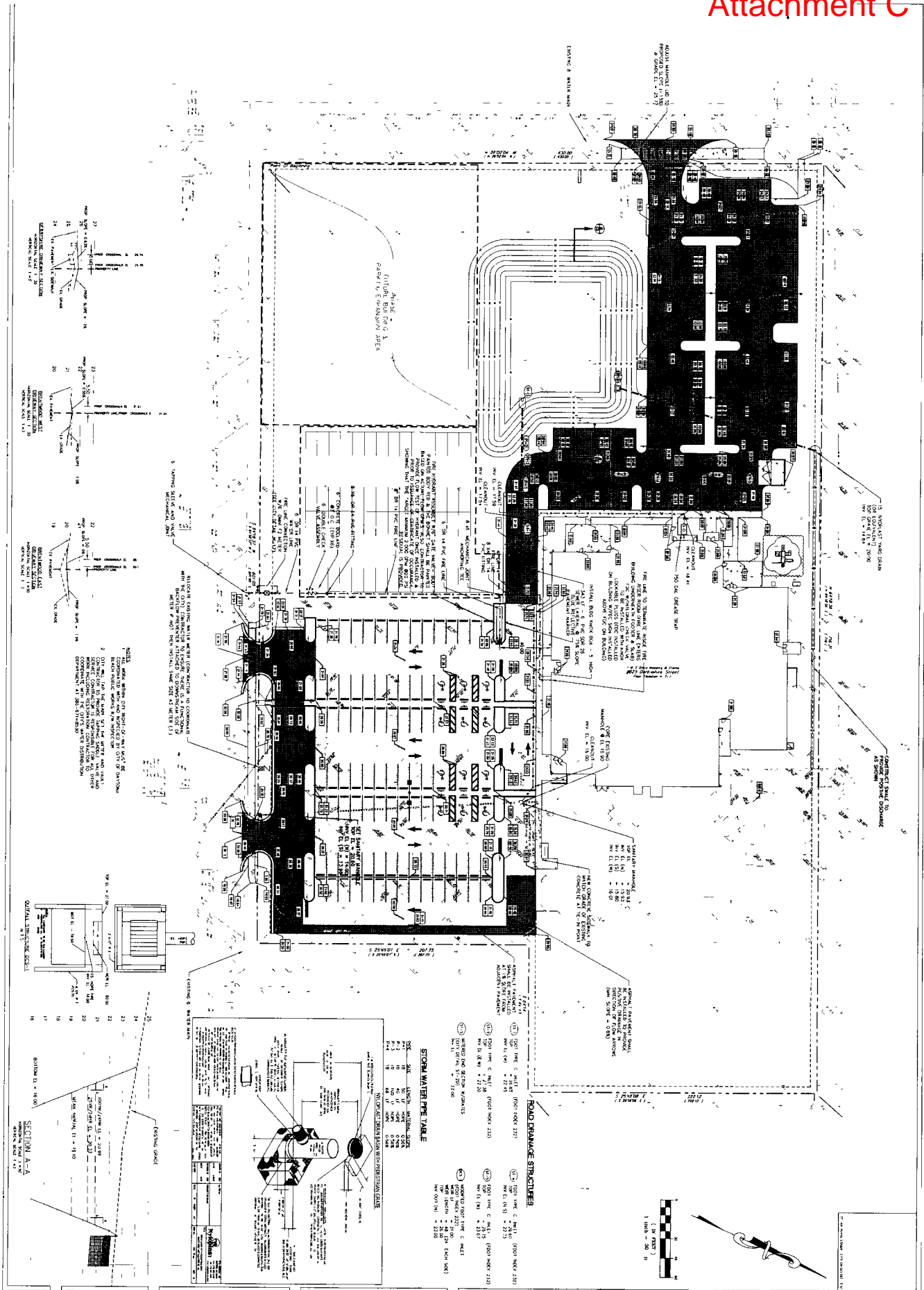
POSITIVE SIGN	MAX. SQUARE FEET	MIN. SQUARE FEET
CON. 10'	60 SF TOTAL (1' - 1' X 10')	5' HFT
CON. 15'	20 SF CHANGEABLE (CPH)	5' HFT
CON. 20'	60 SF FXT	5' HFT
CON. 25'	60 SF FXT	5' HFT
CON. 30'	45 SF	5' HFT
CON. 35'	06 SF	5' HFT

PHASING SCHEDULE
 PHASE 1: CONSTRUCTION OF THE ADDITIONAL BUILDING TO THE EXISTING BUILDING AND PARKING AREA THE ADDITIONAL CONSTRUCTION SHALL BE THE ADDITIONAL CONSTRUCTION OF THE BUILDING AND PARKING AREA.
 PHASE 2: CONSTRUCTION OF THE ADDITIONAL BUILDING AND PARKING AREA.
 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAYTONA BEACH ORDINANCES AND THE CITY OF DAYTONA BEACH ZONING ORDINANCES.



ISLAMIC CENTER OF DAYTONA BEACH
 DAYTONA BEACH, FL
 SIGN PLAN & PHASING PLAN

ALANN ENGINEERING GROUP, INC.
 1700 W. UNIVERSITY BLVD.
 SUITE 1000
 DAYTONA BEACH, FL 32117
 (904) 255-1500



SHEET
C3A OF 12

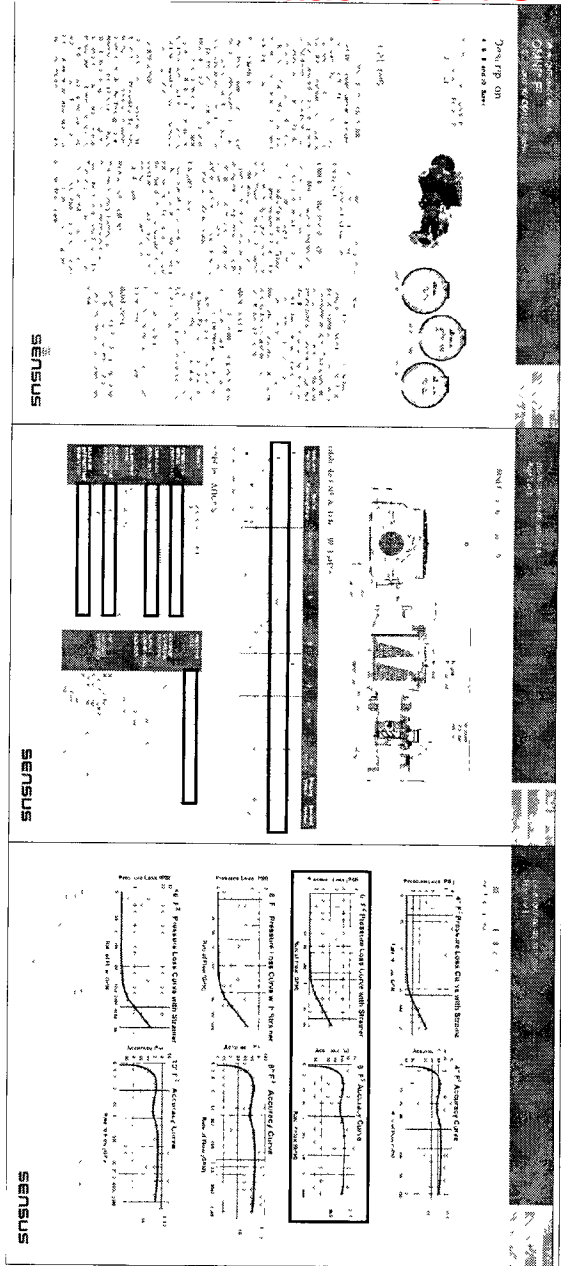
DESIGNER	FILE	DATE
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NO.	DATE	REVISION	BY
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2	5/18/15	PER CITY RAI	MRZ

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
PAVING, GRADING, DRAINAGE PLAN

ALANN ENGINEERING GROUP INC
CONSULTING ENGINEERS
CERTIFICATE NO. RBK479
880 AIRPORT ROAD, SUITE 113
DUNEDIN, FL 32127
TEL: (386) 673-7640
FAX: (386) 673-3924



Approved for Construction
 Date: 07/20/2015

SHEET
 C3B OF 12

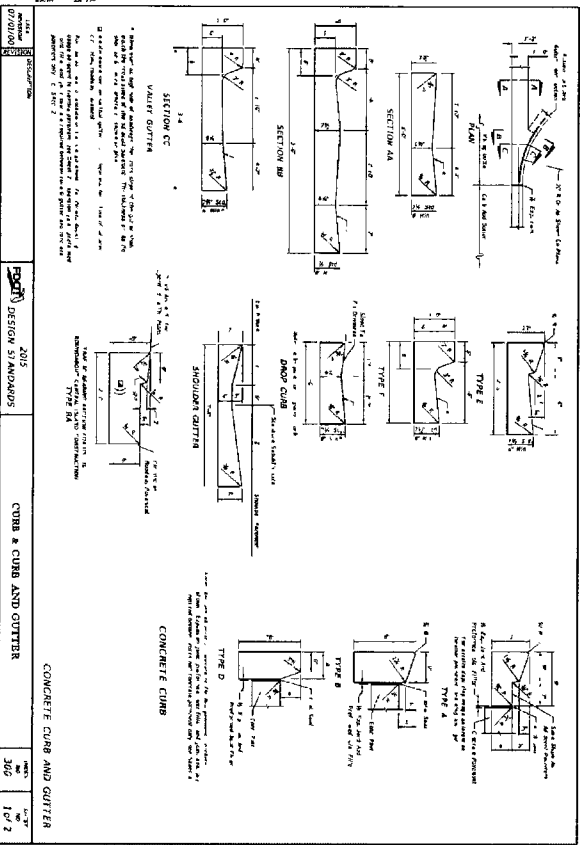
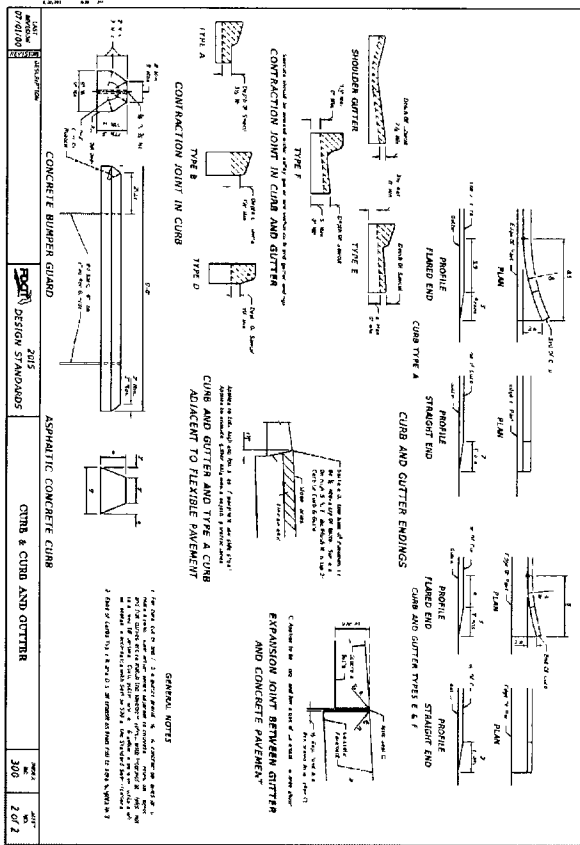
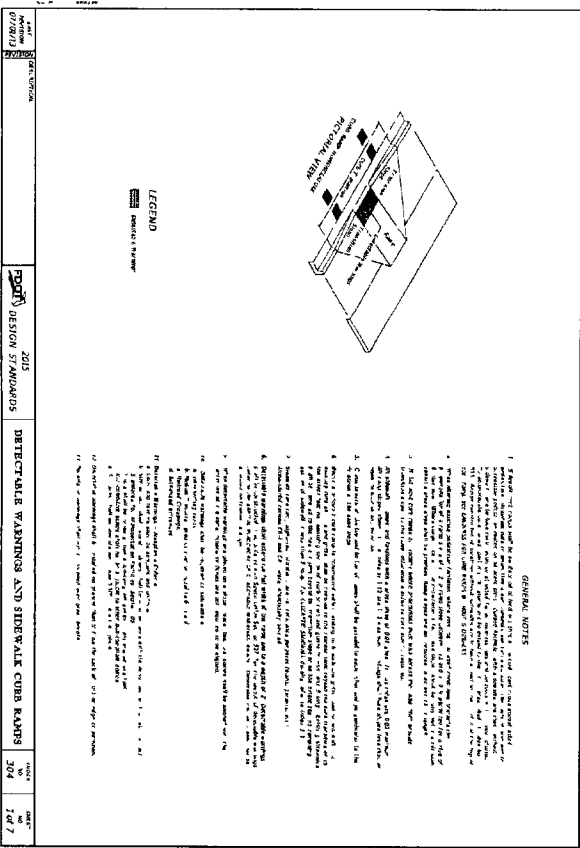
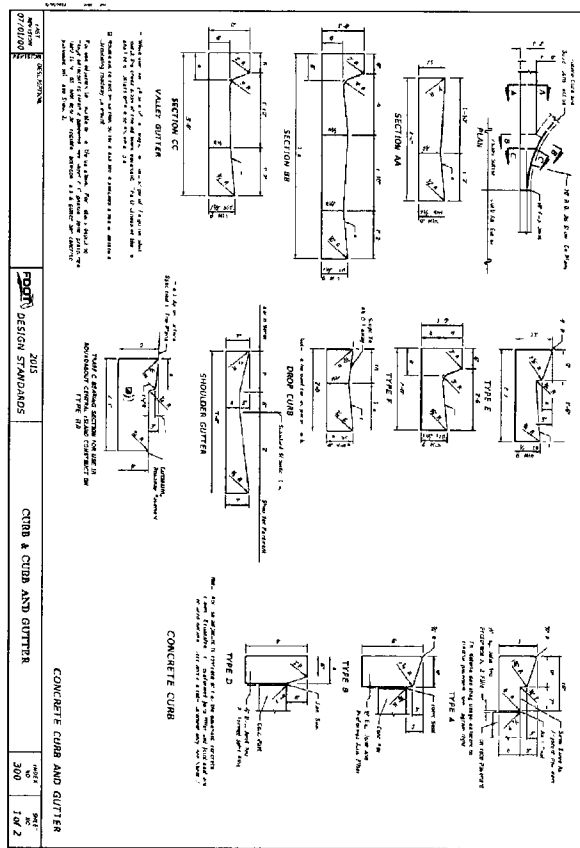
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DRAWN BY	PROJECT	SCALE
MRZ	1401.1	1 = 30

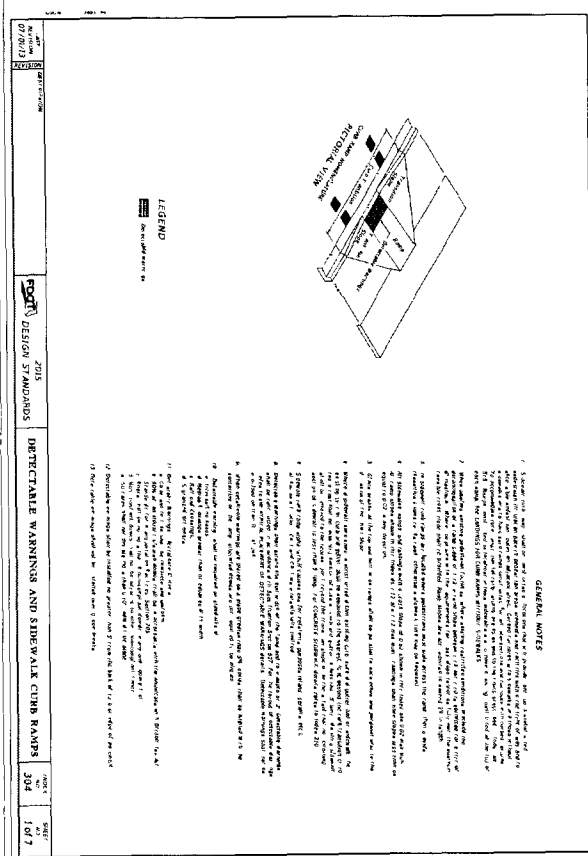
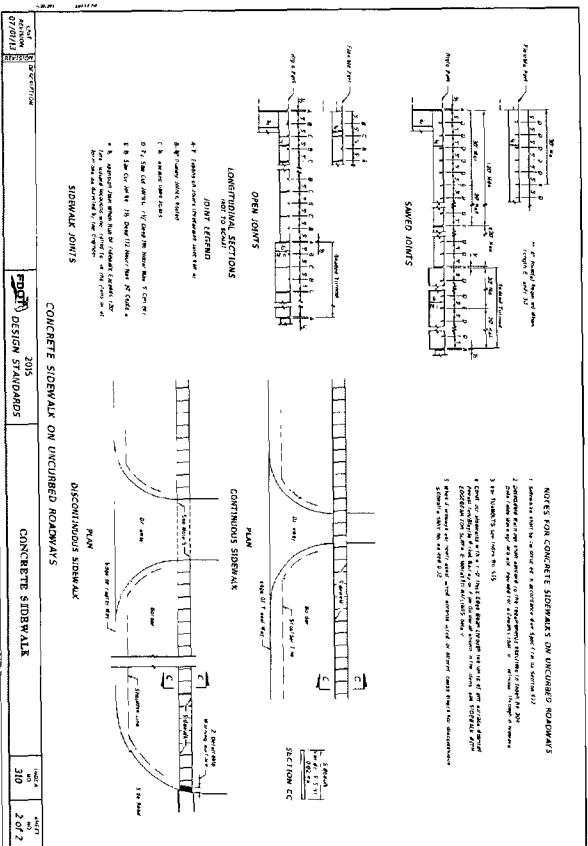
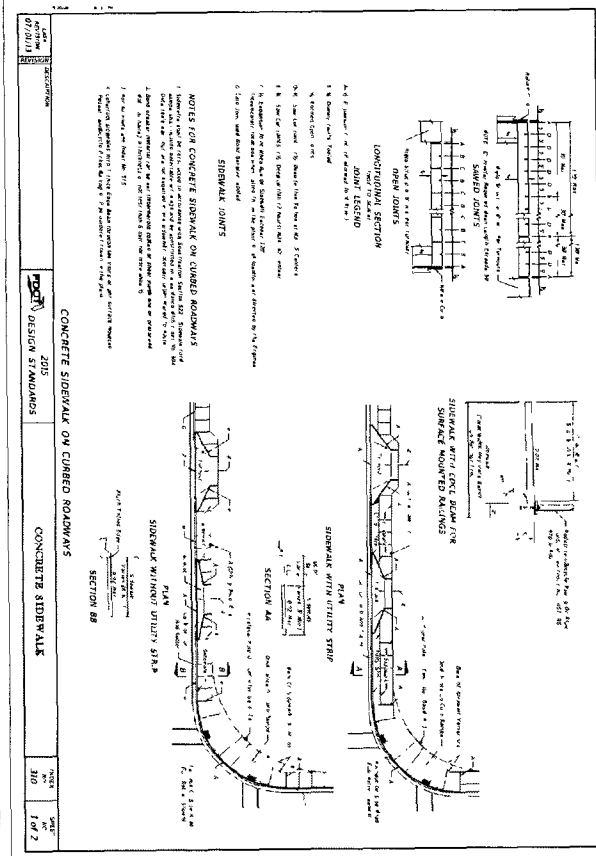
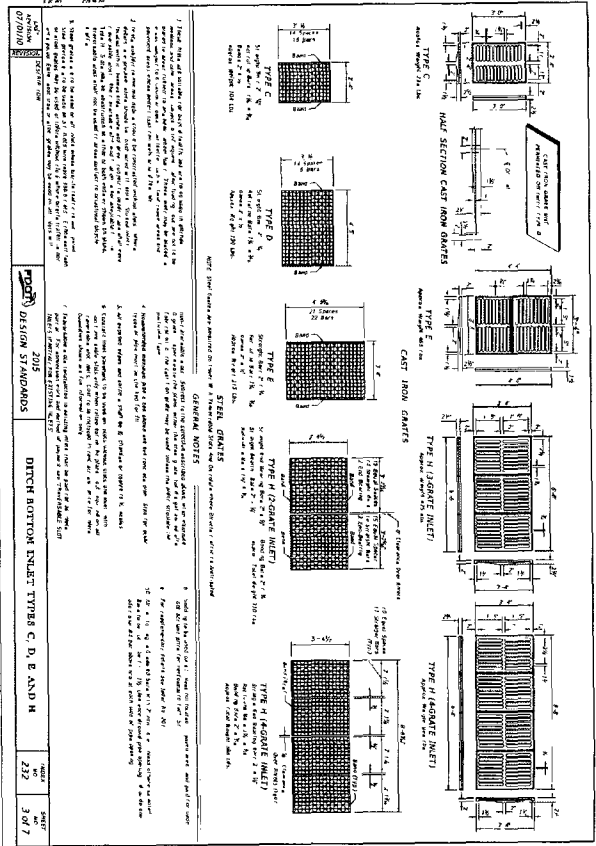
NO	DATE	REVISION	BY
1	07/18/14	PER CITY RA	MRZ
2	05/18/15	PER CITY RA	MRZ

ISLAMIC CENTER OF DAYTONA BEACH			
DAYTONA BEACH, FL			
FIRE CONNECTION METER DETAILS			

ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. 185479
 880 AIRBORNE ROAD, SUITE 103
 ORMOND BEACH, FL 32174
 TEL: (386) 673-7640
 FAX: (386) 673-5927

13





SHEET
CS OF 12

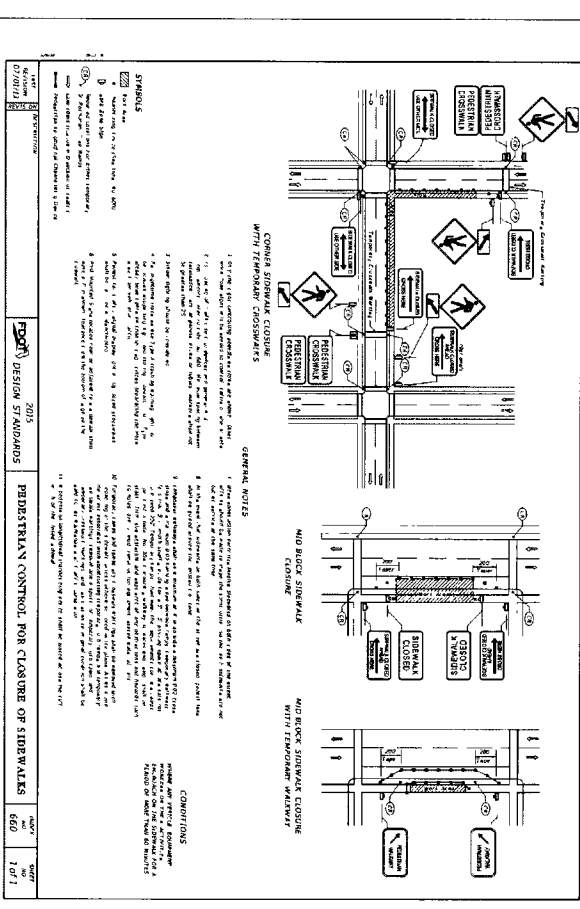
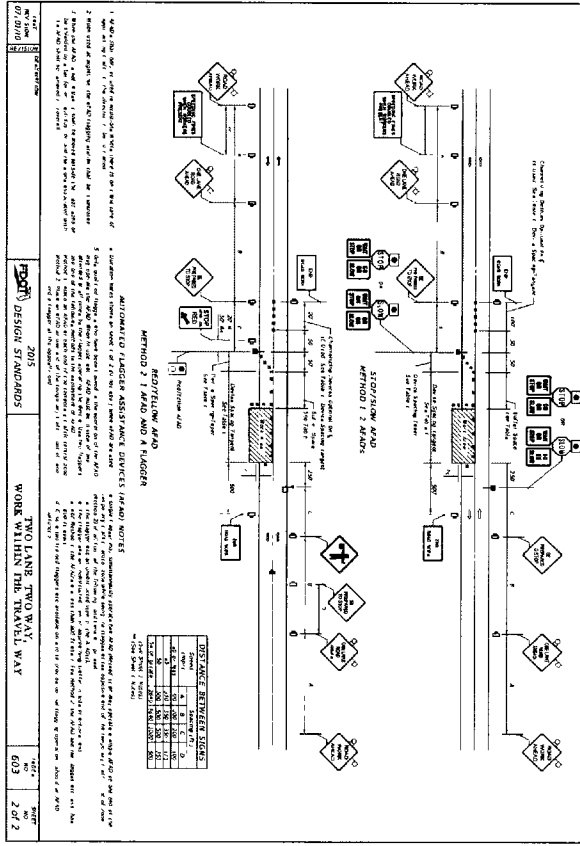
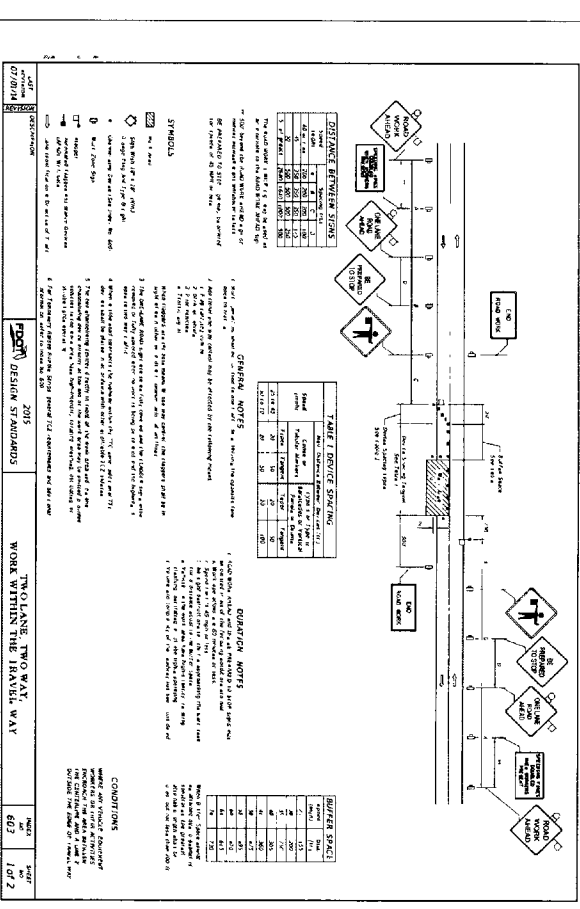
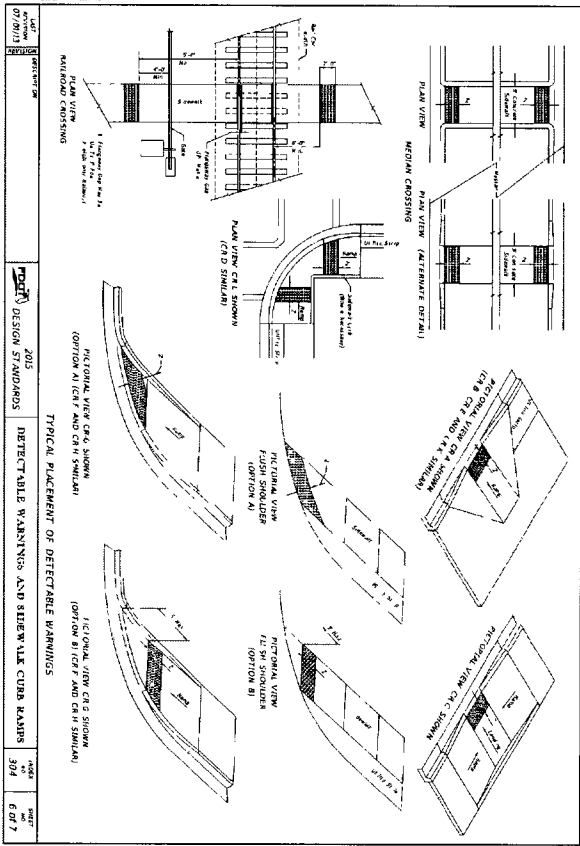
DESIGNER	REL	DATE
KAS	1401	4/15/2014
DRAWN BY	PRESIC	SCALE
MIZ	1401	1 = 10

NO.	DATE	REVISION
1	11/17/14	PER CITY BAL
2		

ISLAMIC CENTER OF DAYTONA BEACH	MIZ
DAYTONA BEACH, FL	BY
CONSTRUCTION DETAILS	

ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. ER5479
 860 ANTHONY ROAD SUITE 113
 DAYTONA BEACH, FL 32114
 TEL (386) 673 7640
 FAX (386) 673 1927



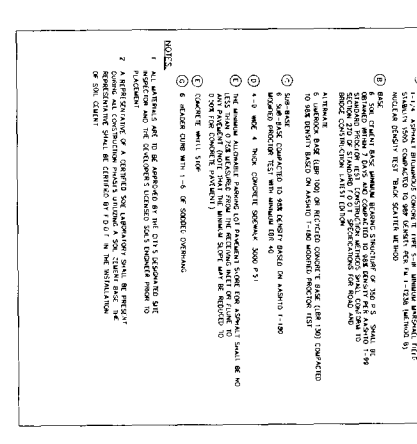
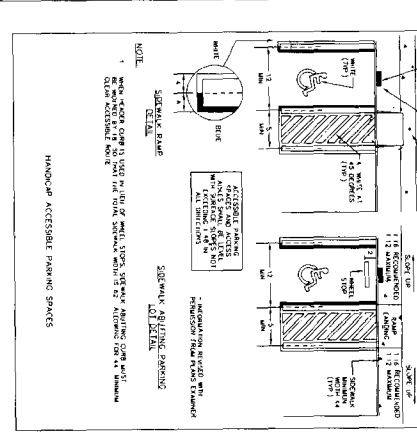
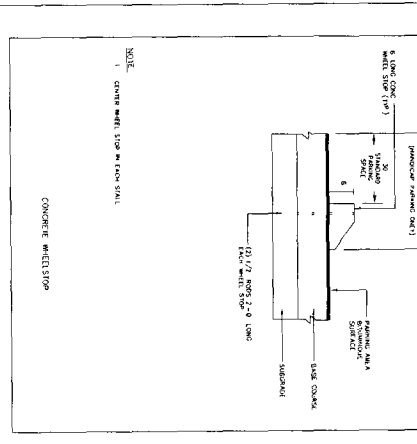
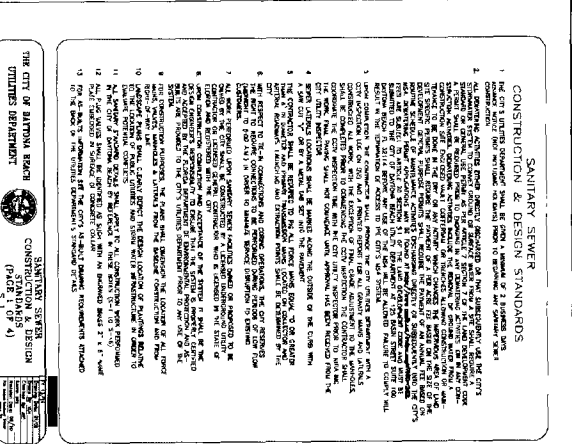
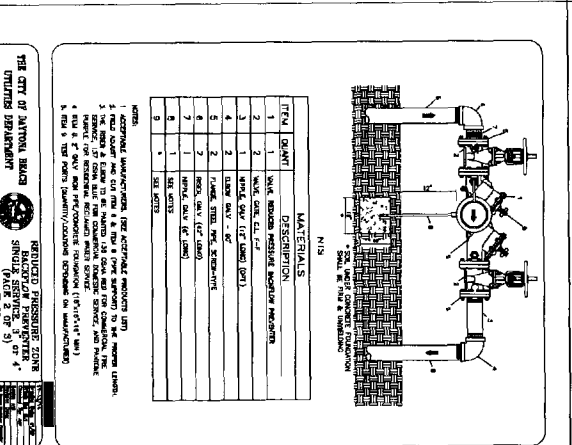
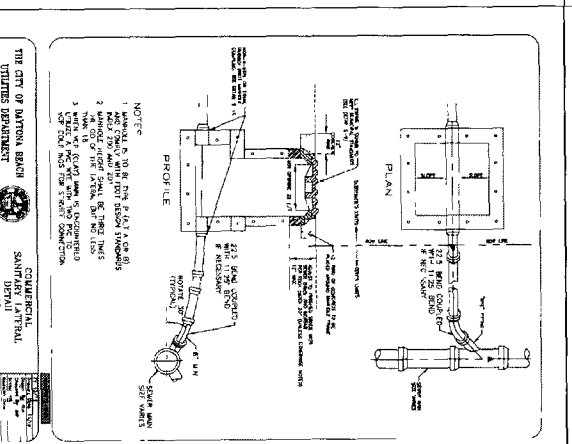
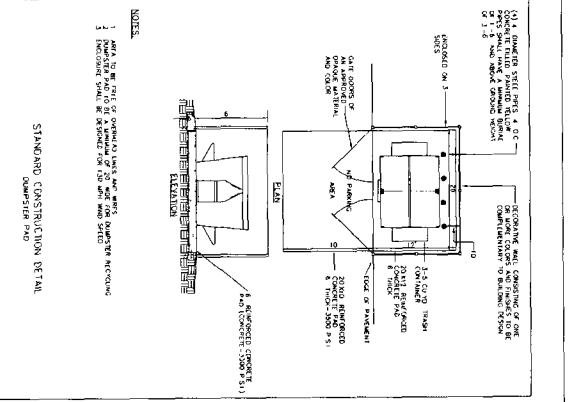


AS-BUILTS/RECORD DOCUMENTS

PART 1 - FINITION

21.01.01.01 CONCRETE
 A. In addition to requirements listed under 21.01.01.01, the contractor shall provide the following details:
 1. FINISHES
 a. The contractor shall provide a smooth finish for all concrete surfaces.
 b. The contractor shall provide a broom finish for all concrete surfaces exposed to traffic.
 2. JOINTS
 a. The contractor shall provide a recessed joint for all concrete surfaces.
 b. The contractor shall provide a raised joint for all concrete surfaces.
 3. CURING
 a. The contractor shall provide a curing compound for all concrete surfaces.
 b. The contractor shall provide a curing membrane for all concrete surfaces.

THE CITY OF DAYTONA BEACH
 UTILITIES DEPARTMENT
 401 N. PINE STREET
 DAYTONA, FL 32114
 (386) 255-1100



ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. EB 0479
 880 ASPENWOOD ROAD, SUITE 113
 ORLANDO BEACH, FL 32174
 TEL: (386) 673-7860
 FAX: (386) 673-9927

ISLAMIC CENTER OF DAYTONA BEACH
 DAYTONA BEACH, FL
 CONSTRUCTION DETAILS

THE CITY OF DAYTONA BEACH
 UTILITIES DEPARTMENT
 SANITARY SEWER
 CONSTRUCTION & DESIGN STANDARDS
 (PAGE 2 OF 4)

DESIGNER	KAR	FILE	1401	DATE	4/17/2014
DRAWN BY	MRZ	PROJECT	1401	SCALE	1"=3'-00"
NO.	1	DATE	11/18/14	MR. CITY MAN	MRZ
REVISION					

SHEET
 C9 OF 12

The City of Daytona Beach Utilities Department
List of Acceptable Products

March 2017

Sanitary Sewer

- Sanitary Sewer**
1. 12MA
 2. 12MA from the
 3. 12MA from the
 4. 12MA from the
 5. 12MA from the
 6. 12MA from the
 7. 12MA from the
 8. 12MA from the
 9. 12MA from the
 10. 12MA from the

- Sanitary Sewer**
1. American
 2. American
 3. American
 4. American
 5. American
 6. American
 7. American
 8. American
 9. American
 10. American

(Page 5 of 8)

The City of Daytona Beach Utilities Department
List of Acceptable Products

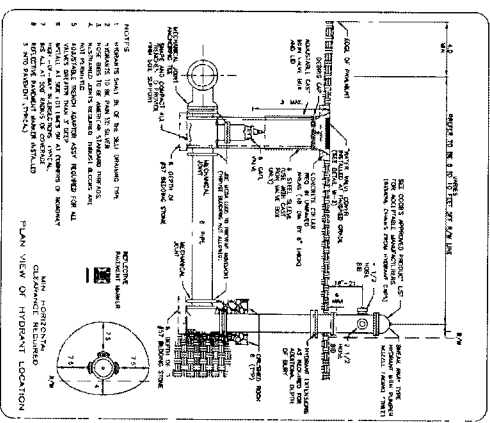
March 2017

Sanitary Sewer

- Sanitary Sewer**
1. 1064
 2. 1064
 3. 1064
 4. 1064
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 8. 1064
 9. 1064
 10. 1064

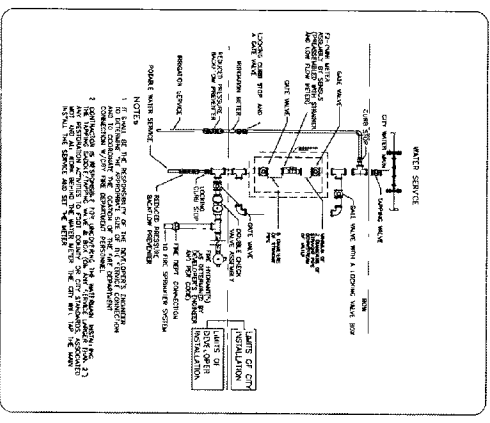
- Sanitary Sewer**
1. American
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 3. American
 4. American
 5. American
 6. American
 7. American
 8. American
 9. American
 10. American

(Page 6 of 8)



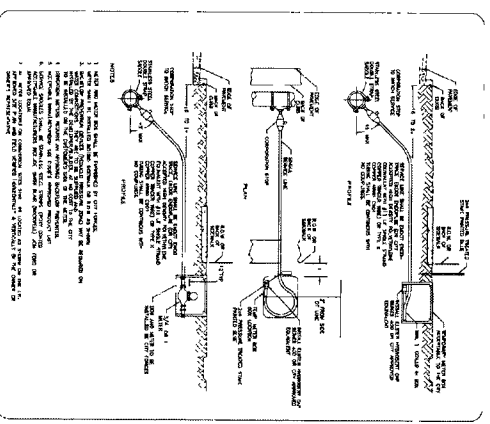
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT

PROJECT: HYDRANT
SHEET: 11
DATE: 11/18/14



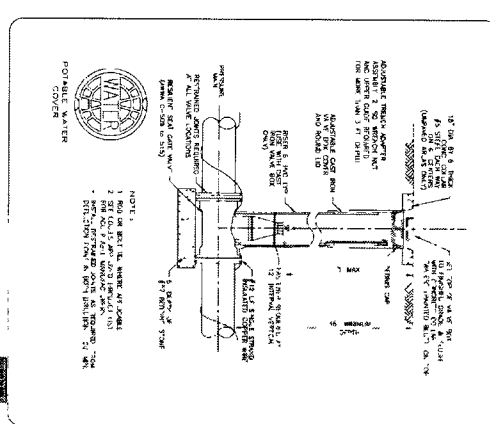
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT

PROJECT: WATER SERVICE
SHEET: 12
DATE: 11/18/14



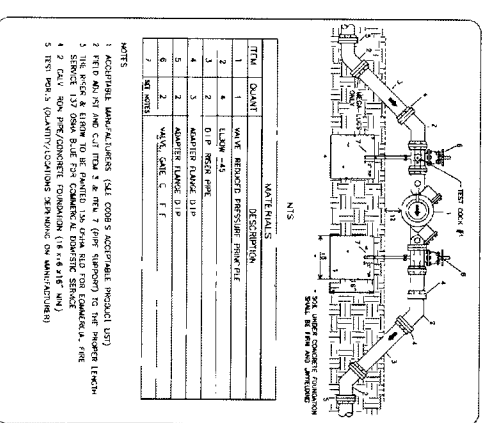
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT

PROJECT: WATER SERVICE
SHEET: 13
DATE: 11/18/14



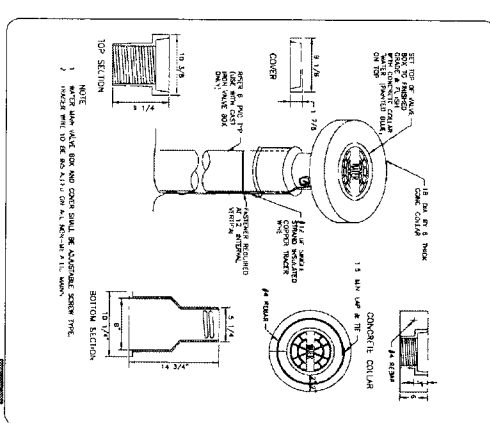
THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT

PROJECT: WATER VALVE AND
DETAIL
SHEET: 14
DATE: 11/18/14



THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT

PROJECT: MAIN VALVE BOX
SHEET: 15
DATE: 11/18/14



THE CITY OF DAYTONA BEACH
UTILITIES DEPARTMENT

PROJECT: MAIN VALVE BOX
SHEET: 16
DATE: 11/18/14

ALANN ENGINEERING GROUP, INC
CONSULTING ENGINEERS
CERTIFICATE NO. 12874-R
880 AIRPORT ROAD SUITE 113
DAYTONA BEACH, FL 32174
TEL: (386) 673-7800
FAX: (386) 673-3927

ISLAMIC CENTER OF DAYTONA BEACH
DAYTONA BEACH, FL
CONSTRUCTION DETAILS

NO.	DATE	REVISION	BY
1	11/18/14	PER CITY TEL	MRZ

DESIGNER	FILE	DATE
KAB	1401	4/15/2014

DRAWN BY	PROJECT	SCALE
MRZ	1401	1"=30'

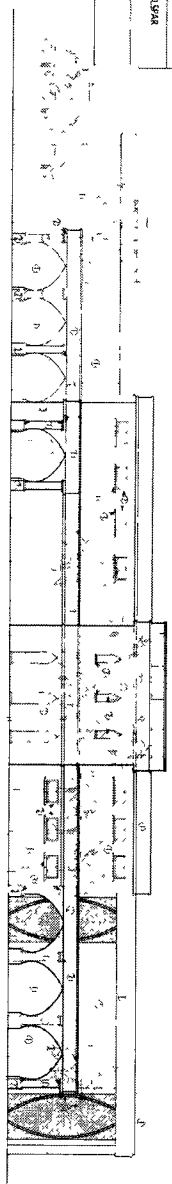
SHEET
C11 OF 12

EXTERIOR COLOR SELECTIONS

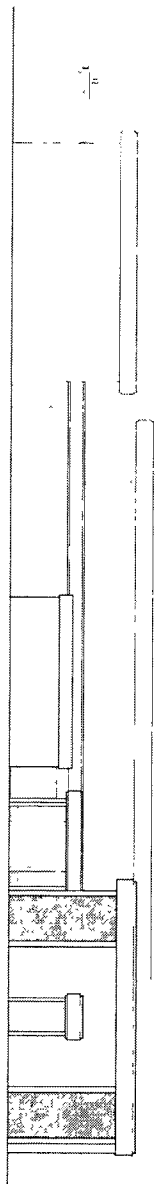
MARK	COLOR NAME	COLOR NUMBER	MANUFACTURER
1	BEYONDA SAND	203-16	VALSPAN
2	LAFONDA OLIVE	603-39	VALSPAN
3	LAFONDA DEEP OLIVE	603-52	VALSPAN

NOT ALL STOREFRONT & WINDOW FRAMES TO BE WHITE

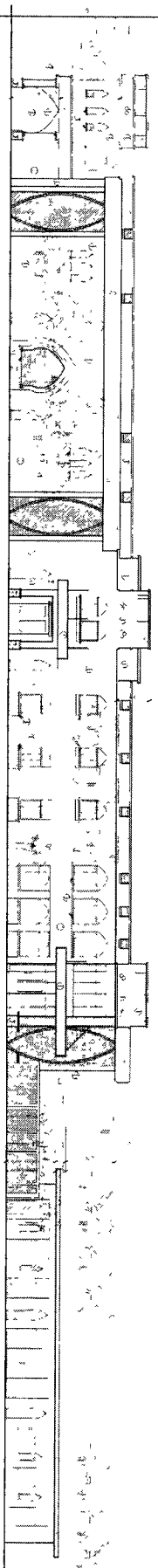
EXHIBIT C



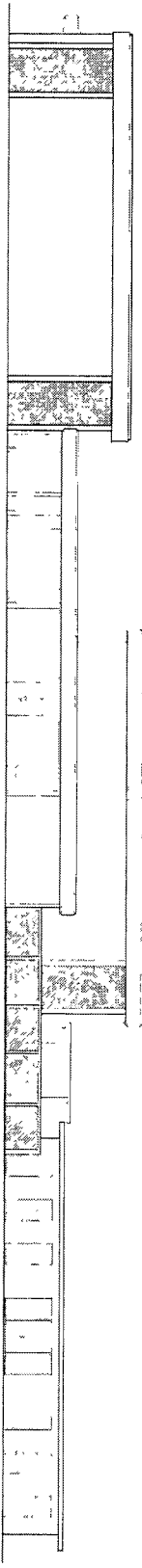
PROPOSED SIDE ELEVATION
(WEST) SCALE: 1"=10'-0"



EXISTING SIDE ELEVATION
(WEST) SCALE: 1"=10'-0"



PROPOSED FRONT ELEVATION
(SOUTH)



EXISTING FRONT ELEVATION
(SOUTH)

-BFY-
Associates Inc
AA 28071107



" ISLAMIC CENTER OF DAYTONA BEACH "

PROJECT LOCATION DERBYSHIRE ROAD, DAYTONA BEACH.
VOLUSIA COUNTY, FLORIDA

ALL WORK TO COMPLY W/ 2007 FBC, W/ 2009 REVISIONS
COPYRIGHT © BFY ASSOCIATES INC 2011
ALL GENERAL & SUB CONTRACTORS TO FIELD
CHECK ALL DIMENSIONS FOR PHYSICAL MATTER
SEWER AND GAS SERVICE LOCATIONS

-BFY Associates Inc.
AA 28071107

Architecture (Consulting) / Planning
10001 Center Island, Suite 400, Jacksonville, FL 32256
P: 904.230.2300 Fax: 904.230.2301

DATE: AUGUST 20, 2014

ELEVATIONS

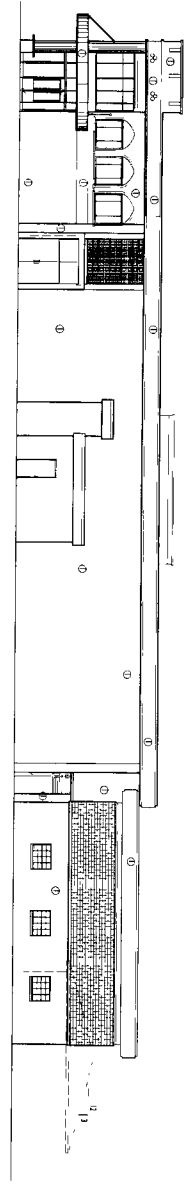
SHEET #
A3

Boyer Yonkers Inc
March 2014

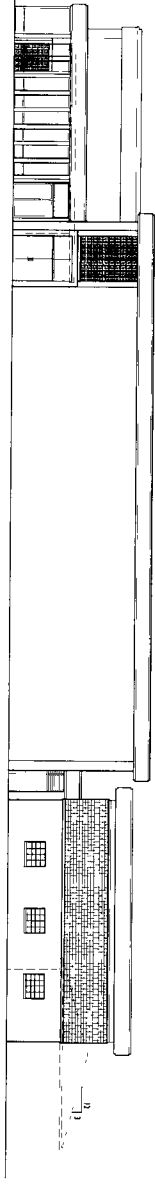
EXTERIOR COLOR SELECTIONS

MARK	COLOR NAME	COLOR NUMBER	MANUFACTURER
①	BETHLEHEM SAND	7002 10	VALSPAR
②	LA FONDA OLIVE	6004 45	VALSPAR
③	LA FONDA DEEP OLIVE	6004 4C	VALSPAR

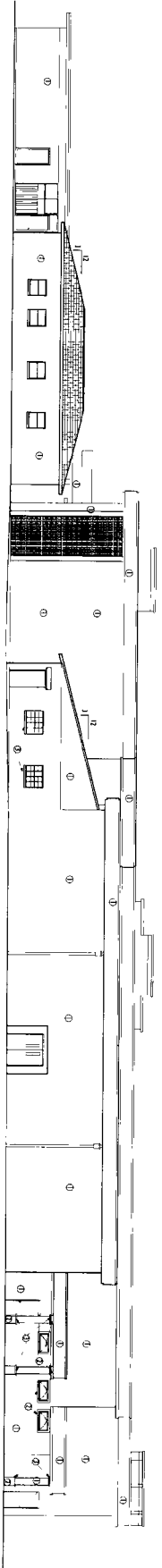
NOTE
ALL STOREFRONT & WINDOW FRAMES TO BE WHITE



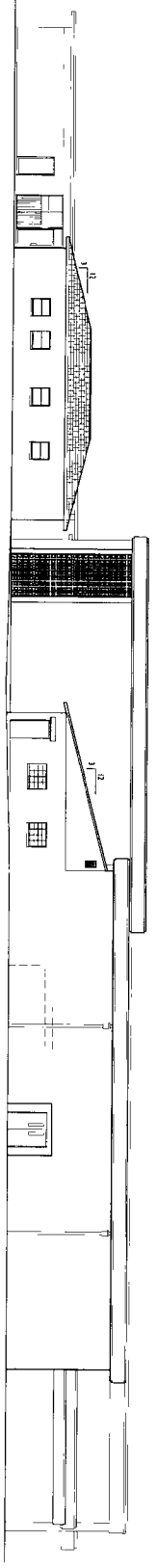
PROPOSED SIDE ELEVATION
(EAST)
SCALE: 1/8"=1'-0"



EXISTING SIDE ELEVATION
(EAST)
SCALE: 1/8"=1'-0"



PROPOSED BACK ELEVATION
(NORTH) SCALE: 1/8"=1'-0"



EXISTING BACK ELEVATION
(NORTH) SCALE: 1/8"=1'-0"

-BIFY-
Associates Inc
AA 26001107



ALL WORK TO COMPLY W/ 2007 FBC, W/2009 REVISIONS
COPYRIGHT © BIFY ASSOCIATES INC 2011
ALL GENERAL & SUB-CONTRACTORS TO FIELD
VERIFY ALL DIMENSIONS ELECTRICAL WATER
SEWER AND GAS SERVICE LOCATIONS

" ISLAMIC CENTER OF DAYTONA BEACH"
PROJECT LOCATION: DERBYSHIRE ROAD, DAYTONA BEACH,
VOLUSIA COUNTY, FLORIDA

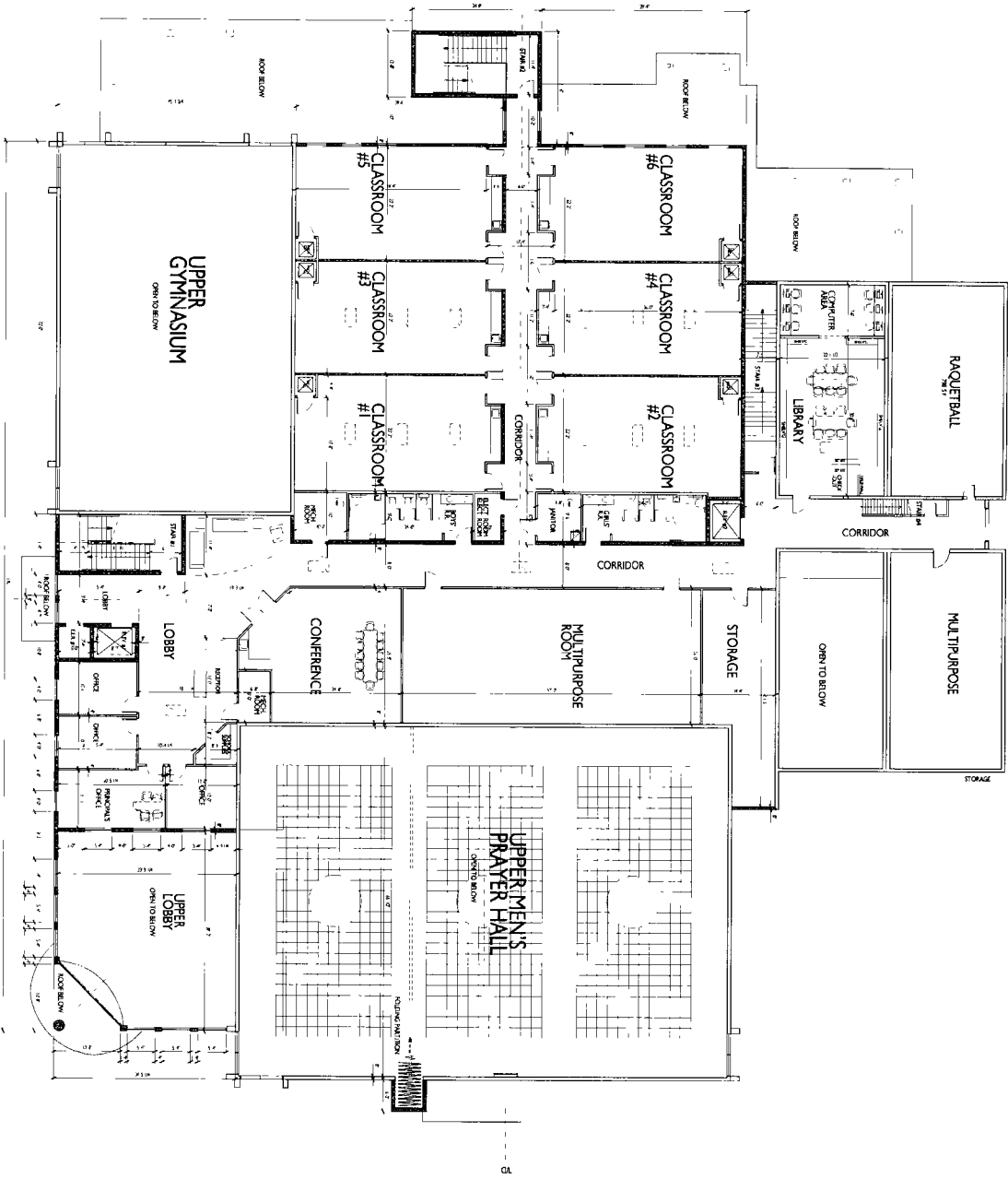
BIFY Associates Inc.
AA 26001107
Architecture / Consulting / Planning
15001 Venture Tower B, Suite 400
2700 Corporate Center Blvd, B-1010
P.O. Box 102320
Orlando, FL 32816
Tel: 407.850.2211
Email: info@bify.com

DATE: AUGUST 20, 2014

SHEET #
A4

ELEVATIONS

PROPOSED 2ND FLOOR PLAN SCALE: 1" = 10'-0"



B-F-Y Associates Inc.
 AA 28001107
 Architecture / Consulting / Planning
 3801 Towne Center Dr., Suite 100
 3801 Towne Center Dr., Suite 100
 Daytona Beach, Florida 32114
 Tel: 386.253.2300 Fax: 386.253.2301

DATE: AUGUST 28, 2014

PROPOSED 2ND FL. PL.

SHEET #
 A2

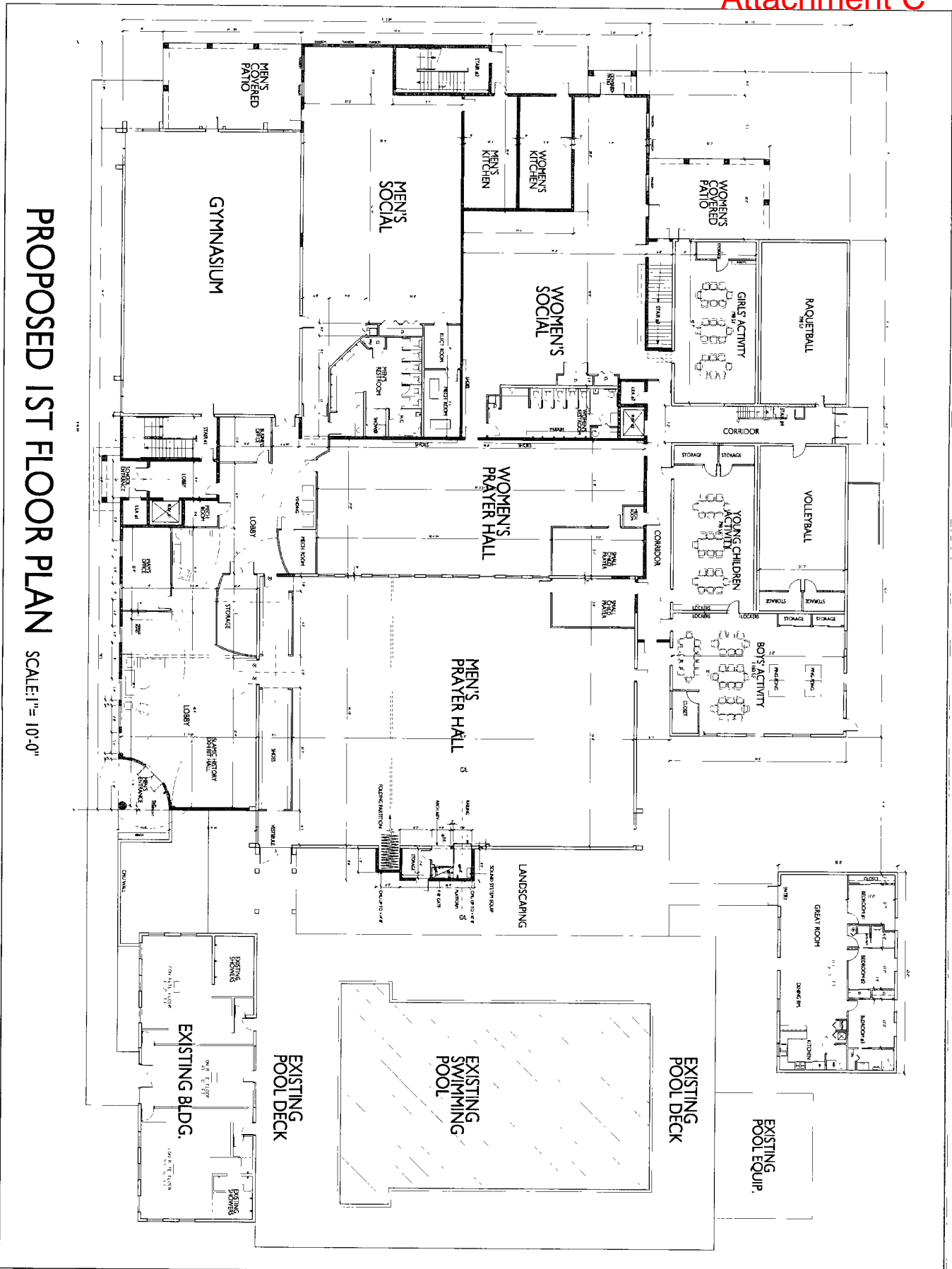
Issued / Revised / Deleted / Deleted

"ISLAMIC CENTER OF DAYTONA BEACH"

PROJECT LOCATION: DERBYSHIRE ROAD, DAYTONA BEACH,
 VOLUSIA COUNTY, FLORIDA

ALL WORK TO COMPLY W/ 2007 FBC, W/2009 REVISIONS.
 COPYRIGHT © B-F-Y ASSOCIATES INC. 2011
 ALL GENERAL & SUB-CONTRACTORS TO FIELD
 VERIFY ALL DIMENSIONS, ELECTRICAL, WATER,
 SEWER AND GAS SERVICE LOCATIONS





PROPOSED 1ST FLOOR PLAN SCALE: 1" = 10'-0"

-B-F-Y- Associates Inc.
 44 28007107
 Architecture / Consulting / Planning
 203 Geneva Blvd., Daytona Beach, FL 32118
 Tel: 386.258.5201 Email: info@bfi.com

DATE: AUGUST 20, 2014

PROPOSED 1ST FL. PL.

SHEET #
 A1

Issue: 1/14/2014
 E:\M\140002
 1/14/2014

" ISLAMIC CENTER OF DAYTONA BEACH "

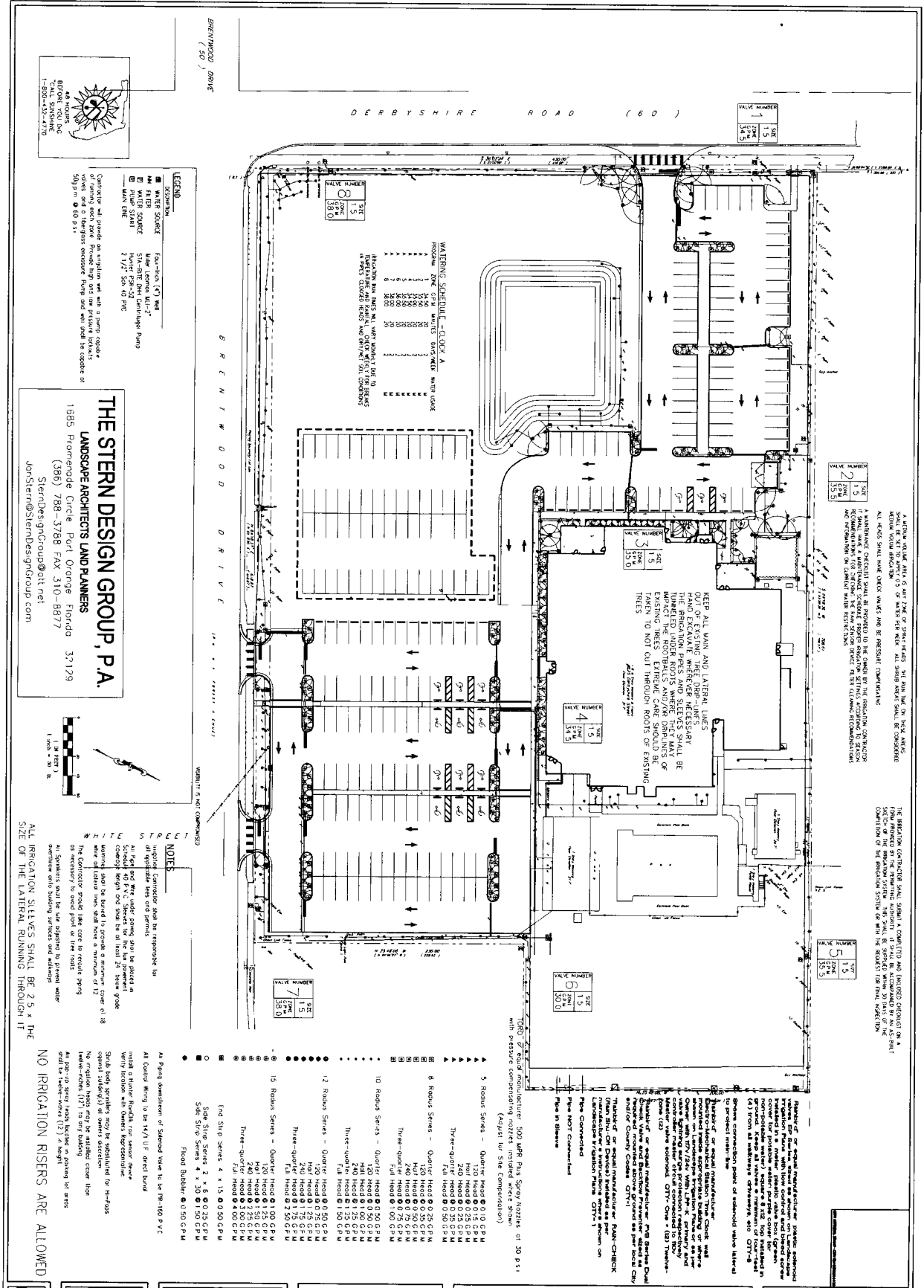
PROJECT LOCATION: DERBYSHIRE ROAD, DAYTONA BEACH,
 VOLUSIA COUNTY, FLORIDA

ALL WORK TO COMPLY W/ 2007 FBC, W/2009 REVISIONS

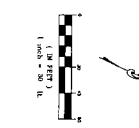
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 VERIFY ALL DIMENSIONS, ELECTRICAL, WATER,
 SEWER AND GAS SERVICE LOCATIONS



-B-F-Y-
 Associates Inc
 AA 28007107



THE STERN DESIGN GROUP, P.A.
LANDSCAPE ARCHITECTS LAND PLANNERS
 11885 Pinnacle Circle, Port Orange, Florida 32129
 (386) 788-3788 FAX 310-8877
 SternDesignGroup@aol.net
 lanStern@SternDesignGroup.com



WHITE STREET
 NOTES:
 1. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 2. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 3. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 4. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 5. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
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 9. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 10. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 11. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 12. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 13. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 14. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 15. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 16. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 17. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 18. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 19. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 20. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 21. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 22. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 23. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 24. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 25. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 26. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 27. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 28. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 29. The irrigation contractor shall be responsible for the design and installation of the irrigation system.
 30. The irrigation contractor shall be responsible for the design and installation of the irrigation system.

NO IRRIGATION RISERS ARE ALLOWED

DATE	4/15/2014
SCALE	AS SHOWN
PROJECT	ISLAMIC CENTER OF DAYTONA BEACH
DRAWN BY	LAN
CHECKED BY	LAN

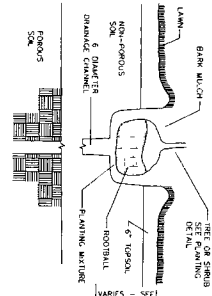
NO.	DATE	DESCRIPTION
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2	3/26/2014	REV: SITE BUFFERS

NO.	DATE	DESCRIPTION
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2	3/26/2014	REV: SITE BUFFERS

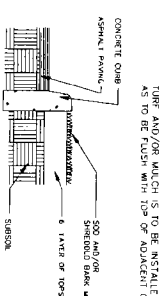
NO.	DATE	DESCRIPTION
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2	3/26/2014	REV: SITE BUFFERS

NO.	DATE	DESCRIPTION
1	4/15/2014	REV: SITE BUFFERS
2	3/26/2014	REV: SITE BUFFERS

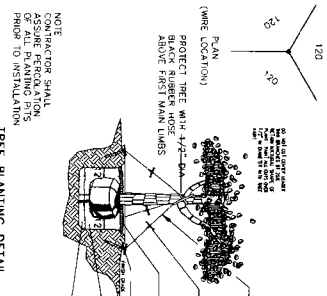
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2	3/26/2014	REV: SITE BUFFERS



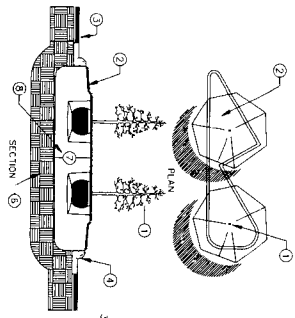
DRAINAGE LISTING/DRAINAGE CHANNEL REQUIREMENTS
 Provide a finished, open gutter for storm water to be stored in the following manner:
 A. DO NOT PLANT OR TO THE DRAINAGE SPECIFIED SITE.
 B. THE PLANTING AT THE EDGE OF WATER OR THE WATER TABLE SHOULD BE PLANTED IN A DRAINAGE CHANNEL. THE PLANTING SHOULD BE PLANTED IN A DRAINAGE CHANNEL. THE PLANTING SHOULD BE PLANTED IN A DRAINAGE CHANNEL.
 C. WHERE REQUIRED, THE DRAINAGE CHANNEL MUST BE 18" WIDE AND 6" DEEP. ALL MATERIAL, INCLUDING FROM THE DRAINAGE CHANNEL, SHALL BE PLANTED IN A DRAINAGE CHANNEL. THE PLANTING AT THE EDGE OF WATER OR THE WATER TABLE SHOULD BE PLANTED IN A DRAINAGE CHANNEL. THE PLANTING SHOULD BE PLANTED IN A DRAINAGE CHANNEL.
DRAINAGE CHANNEL DETAIL
 NOT TO SCALE



SOD/MULCH AT CURB
 NOT TO SCALE



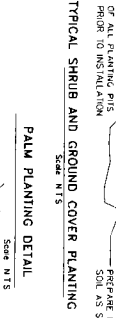
TREE PLANTING DETAIL
 NOT TO SCALE



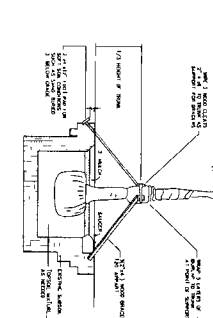
TYPICAL PLANTER ISLAND
 NOT TO SCALE



TYPICAL SHRUB AND GROUND COVER PLANTING DETAIL
 NOT TO SCALE



PALM PLANTING DETAIL
 NOT TO SCALE



TYPICAL HI-POP SPRAY SPRINKLER
 NOT TO SCALE



TYPICAL SOLENOID VALVE
 NOT TO SCALE

THE STERN DESIGN GROUP, P.A.
 LANDSCAPE ARCHITECTS • LAND PLANNERS
 1825 Promenade Circle, Palm Beach, Florida 33480
 (561) 788-3388 FAX 561-489-8977
 www.sterndesign.com

IRIGATION NOTES

1. ALL PIPE MUST BE 1/2" CLASS 150 150 P.V.C.
2. ALL FITTINGS AND VALVES TO BE SCHEDULE 40 P.V.C.
3. ALL VALVES TO BE 1/2" CLASS 150 150 P.V.C.
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PLANTING NOTES

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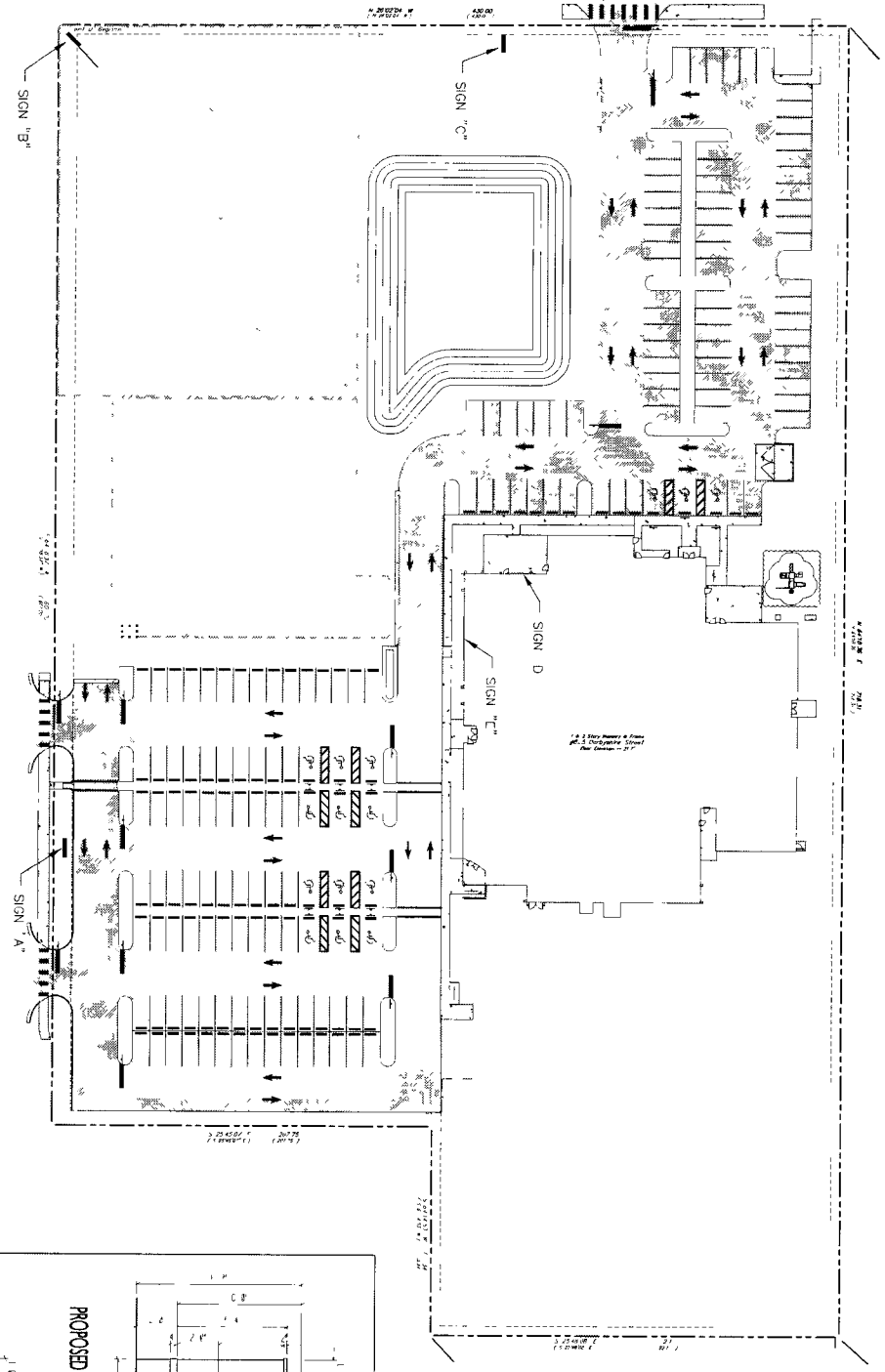
DATE	NO.	DESCRIPTION

ISLAMIC CENTER OF DAYTONA BEACH
 DAYTONA BEACH, FLORIDA
 LANDSCAPE IRRIGATION
 DETAILS

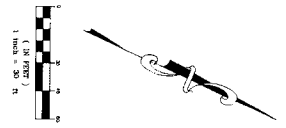
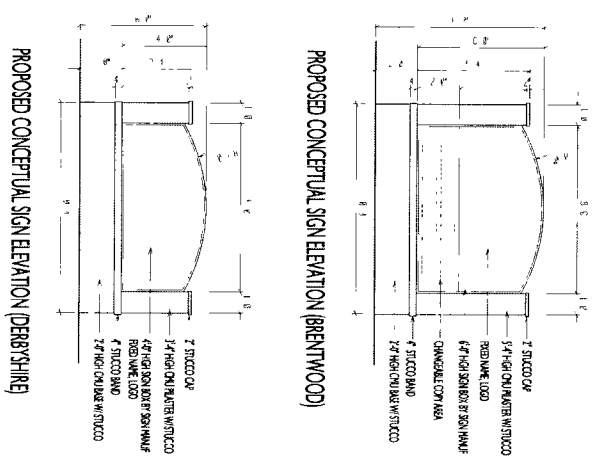
ALANN ENGINEERING GROUP, INC.
 CERTIFICATE NO. 186475
 1100 W. UNIVERSITY AVENUE, SUITE 111
 ORLANDO, FLORIDA 32817
 TEL: (407) 251-1111
 FAX: (407) 251-1112

SHEET
 LA-4 of 4

EXHIBIT E



MONUMENT SIGN	MAX. SURFACE AREA	MIN. SETBACK
SIGN "A"	80 SF TOTAL (60 SF FIXED+ 20 SF CHANGEABLE COPY)	5 FEET
SIGN "B"	50 SF FIXED	5 FEET
SIGN "C"	50 SF FIXED	5 FEET
WALL SIGN		
SIGN "D"	48 SF	
SIGN "E"	96 SF	
SIGN "F"	48 SF	



ISLAMIC CENTER OF DAYTONA BEACH
 DAYTONA BEACH, FL
 SIGN PLAN

ALANN ENGINEERING GROUP, INC
 CONSULTING ENGINEERS
 CERTIFICATE NO. EES-519
 880 AIRPORT ROAD SUITE 113
 ORMOND BEACH, FL 32174
 TEL: (386) 673-7640
 FAX: (386) 673-3927

DESIGNER	FILE	DATE			
I	401	4/15/2014			
DRAWN BY	PROJECT	SCALE			
MRZ	1401	1=30			
NO	DATE	REVISION	BY		
2	10/16/15	PER CITY RM	MRZ		
1	11/18/14	PER CITY RM	MRZ		

SHEET
 1 OF 1

ISLAMIC CENTER OF DAYTONA BEACH
DEV2018-033 PD REZONING
SUMMARY OF NEIGHBORHOOD MEETING
JULY 30, 2018

The meeting was scheduled to be held in the parking lot but due to the inclement weather of non-stop rain the meeting was moved indoors to the lobby area. All guests were welcomed.

1. Discussion began with a brief history of the Islamic Center of Daytona Beach.
2. Explanation of the original Planned District Agreement that was executed on November 25, 2015. Due to the high cost of the project, the ICDB was forced to forgo the design and concentrate instead on reducing the size and cost.
3. Explained that once the second floor was eliminated and the building footprint was reduced Planning & Zoning required that ICDB submit a Major Amendment application thus triggering the requirements of planning board & city commission approvals.
4. Explained the cost of phase 1 is now approximately 1.5 million and the ICDB has already raised over half of that dollar amount.
5. Explained the ICDB is simultaneously completing the architectural and engineering plans so a building permit can be applied for immediately following the city commission approval. Projected construction start date is November / December 2018.
6. Opened the discussion for attendee's questions and comments.
 - a. Danny Fuqua asked about the projected date for the completion of phase 1? We tentatively project phase 1 completion by the end of 2019, depending on how fast we could raise the balance of the funds.
 - b. Dr. Saud Suleiman reiterated the ICDB has raised more than half of the necessary funds to begin construction and is geared up to raise the balance once progress begins.
 - c. Commissioner Trager praised the project and offered her complete support.
 - d. Linda McGee explained the ICDB will be a positive impact on the neighboring community.
 - e. State Representative praised the project and offered his complete support.
7. Informed attendees that the ICDB shall provide a written summary of this neighborhood meeting to the city and any person is welcome to provide a written response to the summary.
8. Meeting was adjourned and we invited all attendees to enjoy the refreshments.

Meeting commenced at 6:35 PM and was adjourned at 7:05 PM.

Below are a few photos taken during the meeting plus a list of attendees.

ISLAMIC CENTER OF DAYTONA BEACH
DEV2018-033 PD REZONING
SUMMARY OF NEIGHBORHOOD MEETING
JULY 30, 2018



**DEV 2018-033 REZONING
NEIGHBORHOOD MEETING
JULY 30, 2018**

LIST OF ATTENDEES

1	State Representative Patrick Henry	2	City Commissioner Ruth Trager
3	Roy McGee	4	Warren Trager
5	Linda McGee	6	Danny Fuqua
7	Pastor Victor Miles	8	Lester Garner
9	Winston Sampson	10	Joycelyn Sampson
11	Ahmed Tildi	12	Rakip Lufi
13	Kamal Frikach	14	Ahmed Badi
15	Rick O'Donnell	16	Abdul Qayyum
17	Abed Karaze	18	Farida Ibrahim
19	Zarina Ibrahim	20	Bassam Alkhateeb
21	Hakeem Alkhoja	22	Aziz R Khan
23	Dr. Saud Suleiman	24	Mohammad Khabazeh
25	Hassan Saboungi	26	
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29		30	
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33		34	
35		36	
37		38	



August 3, 2018

Mr. Dennis Mrozek, Planner
City of Daytona Beach
301 S. Ridgewood Avenue
Daytona Beach, FL 32114

RE: Islamic Center of Daytona Beach Inc.
825 Derbyshire Road
Daytona Beach, FL 32117
File No. DEV2018-033 – First Amendment to PD

ALANN ENGINEERING
GROUP, INC.

CONSULTING ENGINEERS

880 AIRPORT ROAD
SUITE 113
ORMOND BEACH, FL 32174

CA No. 5479

PH: 386-673-7640

FAX: 386-673-3927

SITE DESIGN

ROAD DESIGN

SUBDIVISION DESIGN

STORMWATER DESIGN

WATER/SEWER DESIGN

CONTRACT ADMINISTRATION

EMAIL:

KAB@AE-GROUP.COM

Dear Mr. Mrozek:

My firm has the pleasure of representing the Islamic Center of Daytona Beach, Inc. in regard to the First Amendment of the Planned Development.

The Amendment requests the following changes to the approved Planned Development.

1. Reduce the Building from 2 stories to 1 story.
2. Reduce the overall building footprint.
3. Increase the building setback on the street side. Reduce side setback to reflect the existing covered walkway. Increase the front setback due to elimination of covered entry.
4. Change the phasing schedule to three phases. Phase 1 is the building renovation and the renovation to the main southerly parking area. Phase 2 is the northwest parking lot and Phase 3 is the future Building and Parking area.
5. Changed the landscaping phasing to match the site development phasing.
6. Resets time frames for completion and extends time to submit application from 18 months to 24 months.

The requested modifications actually reduce impacts and do not require additional waivers from those previously approved.

As part of the original PD process, we requested waivers or variances from certain code requirements that would normally be required under the current zoning of SFR-5. The following is a summary of the waivers requested along with the community benefits offered.

WAIVERS REQUESTED:

- Rear yard setback reduced from 35' to 11.9'.
- Parking shall be permitted in the front yard,
- Additional Uses permitted shall include a full time private school, daycare facility, retail such as thrift store and bakery, and health facilities such as medical clinic.
- Where required shade trees will interfere with overhead utility lines,

KIMBERLY A. BUCK, P.E.
PRESIDENT
LICENSE No. 38565

understory trees shall be permitted at a ratio of 1:1 in lieu of 15:1.

- Palm trees shall be permitted (at a ratio of 2:1) to replace up to 50% of the required shade trees in lieu of 25%.

COMMUNITY BENEFITS:

- The buildings are existing. The waiver request to reduce the rear yard setback will simply bring the site into compliance with the Land Development Code. There is no increase in encroachment into the rear yard proposed.
- The front yard is currently defined as the area between the front of the building and the street. The existing parking is located in the front yard. The waiver will allow the parking to remain.
- The uses requested will be member services that will be provided as part of the Islamic Center.
- There are not many areas with overhead utility lines and it is difficult to install and properly maintain the required understory trees at the increased ratio. We prefer to give the trees room to grow and prosper.
- The owner would like to install palm trees throughout the parking lot. They prefer the look of the palm trees and believe the maintenance will be better achieved by not introducing trees with a root system that will undermine the parking lot. By allowing 50% of the required shade trees to be palms, they will actually be planting two times the number of trees required since 2 palms are planted for every shade tree.
- Overall, the following improvements are proposed for this site:
 - The architecture of the existing building and proposed building additions will be greatly enhanced.
 - The entrance driveways on Brentwood will be reduced from 3 to 2.
 - An entrance will be provided from Derbyshire with additional paved surface parking.
 - Landscape Islands will be added to all of the parking lot areas.
 - With the addition of the palm trees, there will be a large number of trees planted on site.
 - The façade facing Derbyshire will be greatly enhanced with the mechanical/electrical equipment being removed.
 - Overall – the site will be completed upgraded and improved from its current state.

In summary, we believe the benefits far outweigh the waivers requested.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,
The Alann Engineering Group, Inc.



Kimberly A. Buck, P.E.
President

cc: File