

Agenda Item 7 (Quasi-Judicial Hearing)  
**Rezoning - Planned Development-General**  
DEV2017-129  
Wawa-Holly Hill Shopping Plaza

**STAFF REPORT**

**DATE:** March 15, 2018  
**TO:** Planning Board Members  
**FROM:** Hannah Ward, Planner

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**PROJECT REQUEST**

A request by Scott Stuart, with KCG Engineering, on behalf of Holly Hill Plaza, LLC, to rezone 1.9 +/- acres of land from Business Retail-2 (BR-2) to Planned Development-General (PD-G) to allow for the development of a gas station and accessory retail sales.

**PROJECT LOCATION**

The subject property is generally located on the northwest corner of Mason Avenue and Nova Road, within the Holly Hill Shopping Plaza.



*Aerial View of the Property*

The current zoning of the property is Business Retail-2 (BR-2), and the Future Land Use (FLU) is Retail. The surrounding zoning and land use classifications are illustrated in the table below and the accompanying map series.

**Table 1: Land Use and Zoning**

	<b>Existing Uses</b>	<b>Future Land Use Designation</b>	<b>Existing Zoning Classification</b>
<b>Site</b>	Vacant Gas Station	Retail	Business Retail-2 (BR-2)
<b>North</b>	Holly Hill Shopping Plaza	Retail	Business Retail-2 (BR-2)
<b>South</b>	Sunoco Gas Station	Retail	Business Automotive (BA)
<b>East</b>	Kentucky Fried Chicken	Retail	Planned Development-General (PD-G)
<b>West</b>	Holly Hill Shopping Plaza	Retail	Business Retail-2 (BR-2)

**PROJECT DESCRIPTION**

The proposed Planned Development rezoning application is being requested to allow for the development of a Wawa gas station and accessory retail sales, with associated site improvements. The site is currently developed as a gas station that has been vacant since 2007. The BR-2 zoning district in which the property is located does not allow a gas station as a permitted use. Therefore, the applicant has proposed to rezone the property to a Planned Development (PD) to allow for the redevelopment of the site as a gas station.

*GENERAL PLANNED DEVELOPMENT DISTRICT PURPOSES*

*The Planned Development (PD) districts are established and intended to encourage innovative land planning and site design concepts that support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and other City goals and objectives by:*

- a. Reducing or diminishing the inflexibility or uniform design that sometimes results from strict application of zoning and development standards designed primarily for individual lots;*
- b. Allowing greater freedom in selecting the means of providing access, open space, and design amenities;*
- c. Allowing greater freedom in providing a well-integrated mix of residential and nonresidential land uses in the same development, including a mix of housing types, lot sizes, and densities;*
- d. Providing for efficient use of land resulting in smaller networks of utilities and streets and thereby lowering development and housing costs; and*
- e. Promoting quality design and environmentally sensitive development that respects surrounding established land use character and respects and takes advantage of a site’s natural and man-made features, such as trees, wetlands, surface waters, floodplains, and historic features.*

**PROJECT ANALYSIS**

Review of and decision on a Planned Development rezoning application shall be based on the proposed zoning reclassification and the PD Plan/Agreement’s compliance with the review standards in Section

3.4.D.3, Site-Specific Zoning District Map Amendment Review Standards, and General Standards for All Planned Development Zoning Districts in Section 4.8.B of the LDC.

### **Site-Specific Zoning District Map Amendment Review Standards**

In determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment, the City shall consider the following:

**a. Whether the applicant has provided, as part of the record of the public hearing on the application, competent substantial evidence that the proposed amendment:**

**i. Is consistent with and furthers the goals, objectives, and policies of the comprehensive plan and all other applicable City-adopted plans;**

The Future Land Use (FLU) on the property is Retail, which primarily intended to accommodate retail establishments, but contains other commercial uses. The current Retail FLU supports the proposed use of the site as a gas station.

**ii. Is not in conflict with any portion of this Code;**

The development standards for a PD District must comply with Article 6: Development Standards and Article 7: Subdivision Standards of the Land Development Code (LDC) or any modifications of those standards established in the PD Plan (*Attachment A*) and the PD Agreement. The applicant has requested modifications to these standards, as detailed below, in order to allow for the redevelopment of the site into a Wawa gas station with accessory retail sales. If all of the requested modifications are granted, approval of the proposed PD agreement will not be in conflict with the LDC.

**Building Perimeter Landscaping** (Section 6.4.C.2)

- 1) *Continuous landscape areas* - The applicant is requesting to waive the requirement that continuous landscape areas shall be located adjacent to all building perimeters. Instead, the applicant has proposed to provide ornamental groundcover and shrubs along the length of the West building perimeter and a portion of the East building perimeter.
- 2) *Walkways* – The applicant is requesting to waive the requirement that walkways adjacent and parallel to the building shall be a maximum of six feet wide. Instead, the applicant would like to provide walkways greater than six feet wide adjacent to the building.

**Signage:** *See Attachment B* (Table 6.10.K.2 – District Sign Schedule: Business Districts)

- 3) *Maximum Number of Signs* – The applicant is requesting a total of 8 signs: 2 ground signs, to be developed as EMC pole signs for the display of digital gas prices; 4 wall signs; and 2 canopy signs, in lieu of the 6 signs permitted on corner lots in the Business Districts. In addition, and based on the LDC regulations for EMC signs, if more than one ground sign is permitted on a property, an EMC sign shall count as two ground signs. Therefore, the applicant is theoretically requesting a total of 10 signs.
- 4) *Maximum Sign Area Per Parcel* - The applicant is requesting to increase the maximum sign area for the property from a total of 330 SF (2 SF per 1 linear ft. of building frontage) to a total of +/- 372 SF.

Electronic Message Center Signs: See Attachment B (Section 6.10.J.6)

The applicant is requesting modifications to the LDC, as detailed below, to allow for the development of two EMC pole signs on the property for the display of digital gas prices. The requested EMC signs are consistent with the number of EMC signs approved as part of the PD/rezoning for the development of the Wawa gas station near the intersection of ISB and Ridgewood Avenue. Staff is of the opinion that the EMC signs are compatible with the proposed use on the property. The request to develop the signs as pole is also consistent with the pole signs current in existence on adjacent properties.

- 5) *Site Acreage for EMC Sign* – The applicant is requesting to waive the requirement that EMC signs shall only be permitted on sites consisting of at least 8 contiguous acres with at least 650 continuous linear feet of frontage on an arterial street, in order to accommodate the two requested EMC pole signs.
- 6) *Maximum Number of EMC signs* – In lieu of the one EMC sign permitted by the LDC on a single parcel, the applicant is requesting to develop one EMC pole on each of the property’s two street frontages, i.e. Mason Avenue and Nova Road, for a total of 2 EMC signs.
- 7) *EMC Sign Type* – The applicant is requesting to waive the requirement that an EMC sign shall be developed as a monument sign with a maximum height of eight feet above grade in order to construct two EMC pole signs. This request is consistent with the pole signs in existence on adjacent properties. The PD specifies that the EMC pole sign along Nova Road will have a maximum height of 27’ and a maximum sign area of 106 +/- SF. The EMC pole sign along Mason Avenue will have a maximum height of 23’ and a maximum sign area of 60 +/- SF.
- 8) *Display Screen* – The applicant is requesting to waive the requirement the EMC display screens shall not exceed 50% of the sign cabinet, as shown above and in Attachment B.
- 9) *Additional Signage on Sign Cabinet* – The applicant is requesting to waive the requirement that additional signage shall only be permitted on the sign cabinet if it does not exceed 15% of the sign cabinet size. The proposed Wawa identification logo above the EMC display screen exceeds this requirement.



*Rendering of EMC Pole Sign*

**NOTE: Pursuant to Section 6.10.J.6.b.xxi of the LDC, the criteria relating to EMC signs may be waived or altered by the City Commission as part of Comprehensive Sign Plan, Planned Development Agreement, or a Public or Semi-Public Use Permit.**

Exterior Color and Design Standards along Major City Thoroughfares See Attachment A (Section 6.12.C) – The applicant is requesting modifications to some of the required architectural standards, in order to accommodate Wawa’s corporate model. That being said, review of the proposed architectural elevations reflects compliance with the purpose of the City’s Building Design and Maintenance Standards, as detailed in Section 6.12.A of the LDC.



*Front Elevation (Nova Road)*

- 10) *Changes of Wall Planes* – The applicant has requested to waive the requirement that walls shall have changes of planes with at least a three-foot projection or recess no less than every 30 feet for sides of buildings which are less than 200 feet wide because the proposed architectural elevations do not fully comply with this standard, as detailed in the applicant’s benefit/modification statement in *Attachment C*.
- 11) *Changes of Rooflines* – The applicant has also requested to waive the requirement that roofs shall have multiple rooflines if the building is more than 30 feet wide for roofs which are less than 200 feet wide because the proposed architectural elevations do not fully comply with this standard (see explanation in *Attachment C*).
- 12) *Building Colors* – The proposed colors for the building do not fully comply with the requirement that building colors shall have a minimum light reflectance value (LRV) of 70, as detailed in *Attachment C*. This request is consistent with Wawa’s corporate model.

**iii. Addresses a demonstrated community need;**

The applicant has provided a Modification/Benefit letter (*Attachment C*) that details public benefits and addresses the standard for a demonstrated community need. The modification/benefit letter also includes waivers, as identified above, that the applicant is requesting from the LDC, in exchange for the public benefits enumerated in the letter.

**iv. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;**

The proposed use on the property is compatible with the existing and proposed uses on surrounding lands.

**v. Would result in a logical and orderly development pattern;**

Standards established in the PD Agreement and the LDC would result in a logical and orderly development pattern for the subject property.

**vi. Would not adversely affect the property values in the area;**

There is no indication that the proposed development would adversely affect the property values in the area.

**vii. Would result in development that is adequately served by public facilities (roads, potable water, wastewater, solid waste, storm water, schools, parks, police, and fire and emergency medical facilities); and**

The PD Agreement acknowledges that the rezoning approval does not constitute a Concurrency Certificate as required by the LDC. The applicant will be required to separately obtain a Concurrency Certificate and, where applicable, to enter into a proportionate fair share agreement, prior to approval of a site plan for the proposed development.

A Traffic Impact Analysis (TIA) has been submitted to the City for review. Any proposed infrastructure improvements are required to be identified and agreed upon by the City prior to site plan approval.

Staff has reviewed the requested development for impacts to public facilities as part of the rezoning and offers no objection to the proposed use and its associated development plan.

**viii. Would not result in significantly adverse impacts on the natural environment including, but not limited to, water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and**

Staff does not have any indication that the proposed development will have an adverse impact on the natural environment.

**b. If the applicant demonstrates that the proposed amendment meets the criteria in subparagraph [a] above, whether the current zoning district designation accomplishes a legitimate public purpose.**

The BR-2 zoning designation on the property does not currently allow a gas station as a permitted use. That being said, the Retail FLU designation on the property does allow a gas station as a permitted use. The proposed Planned Development/rezoning application serves a legitimate public purpose by allowing for the redevelopment of an site that has been vacant since 2007.

**Planned Development Zoning Districts Review Standards**

Before approving a Planned Development (PD) zoning district classification, the City Commission shall find that the application for the PD zoning district, as well as the PD Plan/Agreement included as part of the application, shall comply with the following standards:

**1. PD Plan/Agreement**

The PD Plan/Agreement includes a development plan for the subject site. This includes identification of potential vehicle access points, development area, parking areas, common areas, site improvements and landscaping (*Attachment A*). The applicant has requested modifications to the LDC in conjunction with the proposed development plan for the property, as detailed earlier in this report.

**2. Consistency with City Plans**

If adopted by the City Commission, the PD zoning district designation and the PD Plan/Agreement will be consistent with the Comprehensive Plan.

### **3. Compatibility with Surrounding Areas**

The proposed development plan meets the compatibility standards for the property perimeters. The applicant has conducted a neighborhood meeting, as required by the LDC. A summary of the neighborhood meeting prepared by the applicant is attached (*see Attachment D*).

### **4. Development Phasing Plan**

The applicant has proposed a completion schedule for the development in Section 11.B and 11.C of the PD Agreements, as follows:

*B. Application shall be submitted for all construction permits for the development, or for the first phase of a phased development, within 18 months of the approval of this Agreement by the City Commission. The filing of an appeal of the land development order by any person shall toll the time for permitting until final resolution of the appeal. If development is phased, application for construction permits for subsequent phases shall be submitted within 30 months from the date of initial approval.*

*C. Construction of phase one shall be substantially complete within 5 years of the approval of this Agreement. Construction of any other phase must be substantially complete within 6 years of the initial approval of this Agreement.*

### **5. Conversion Schedule**

Not applicable.

### **6. On-Site Public Facilities**

Water and sewer service shall be provided by The City of Daytona Beach. An on-site stormwater retention facility will be constructed in conjunction with the development. The stormwater retention facility will be maintained at a level consistent with the standards of the St. Johns River Water Management District. Collection and transmission facilities shall be located pursuant to the approved site plan, or site plans approved for individual lots or structures.

### **7. Uses**

The PD agreement has proposed the following permitted uses on the subject property. All of the proposed uses are required to comply with the corresponding use-specific standards in Article 5: Use Standards of the LDC.

*Gas Station and Accessory Retail Sales/Service*

### **8. Densities/Intensities**

There are no household living uses being proposed as part of this PD/rezoning request. That being said, the PD has identified a maximum density of 40 du/ac, to reflect consistency with the Retail FLU on the property. The applicant is proposing a maximum Floor Area Ratio (FAR) (i.e. intensity) of 3.

### **9. Dimensional Standards**

The following lot development criteria has been proposed in Section 3.D of the PD agreement, consistent with the requirements of the zoning districts in the LDC that allow gas stations:

- 1) *Maximum individual building size: 7000 SF;*
- 2) *Minimum open space: 10%;*

- 3) *Maximum impervious surface area: 80%;*
- 4) *Maximum density: 40 du/ac (per Retail FLU);*
- 5) *Slopes within any dry retention pond(s) shall be 4:1 without a fence;*
- 6) *Dry retention pond(s) shall count toward open space requirements;*
- 7) *Landscape requirements shall meet the 25 foot scenic setback criteria for Nova Rd;*
- 8) *Maximum floor area ratio (FAR) of 3.0;*
- 9) *Minimum lot area of 20,000 sf;*
- 10) *Minimum lot width of 150 feet*

## **10. Development Standards**

All development in a PD district shall comply with the development standards in Article 6: Development Standards, and Article 7: Subdivision Standards, or any modifications of those standards established in the PD Plan/Agreement as consistent with City plans, the objective of the particular type of development standard, the purpose of the particular PD district, and any additional limitations or requirements set forth in Sections 4.8.C and 4.8.D for the particular type of PD district.

### **Landscaping**

The site is located within the City's Scenic Thorough Overlay (STO) District. No waiver has been requested from STO requirements for the subject property. The applicant has proposed to provide the required 25-ft. landscape yard along Nova Road with the required landscape materials.

The applicant has requested two modifications to the required building perimeter landscaping, as detailed earlier in this report.

### **Signage**

The applicant is requesting to provide a total of 8 signs on the property: 2 EMC pole signs; 4 wall signs; and 2 canopy signs. The proposed signs will have a total sign area of +/-372 SF. The requested signage modifications are detailed earlier in this report and are also reflected in the proposed signage plan (*see Attachment B*). The requested EMC signs are consistent with the number of EMC signs approved as part of the Planned Development rezoning for Wawa gas station, now fully developed, near the intersection of ISB and Ridgewood Avenue. Staff is of the opinion that the EMC signs are compatible with the proposed use on the property; the request to develop the signs as pole is also consistent with the signs that exist on adjacent properties.

### **Exterior Color and Design Standards along Major City Thoroughfares**

The site is located at the corner of Mason Avenue and Nova Road, both of which are designated as Major City Thoroughfares. The applicant has requested modifications from the required changes in wall planes, changes in rooflines, and minimum light reflectivity value (LRV) of the building colors, as detailed earlier in this report, and as shown in the proposed architectural elevations (*see Attachment A*), in order to accommodate Wawa's corporate design and to grant flexibility in the design of the building. Despite the requested modifications, the proposed building design meets the purpose of the City's Building Design and Maintenance Standards as set forth in Section 6.12.A of the Land Development Code (LDC).



**RECOMMENDATION**

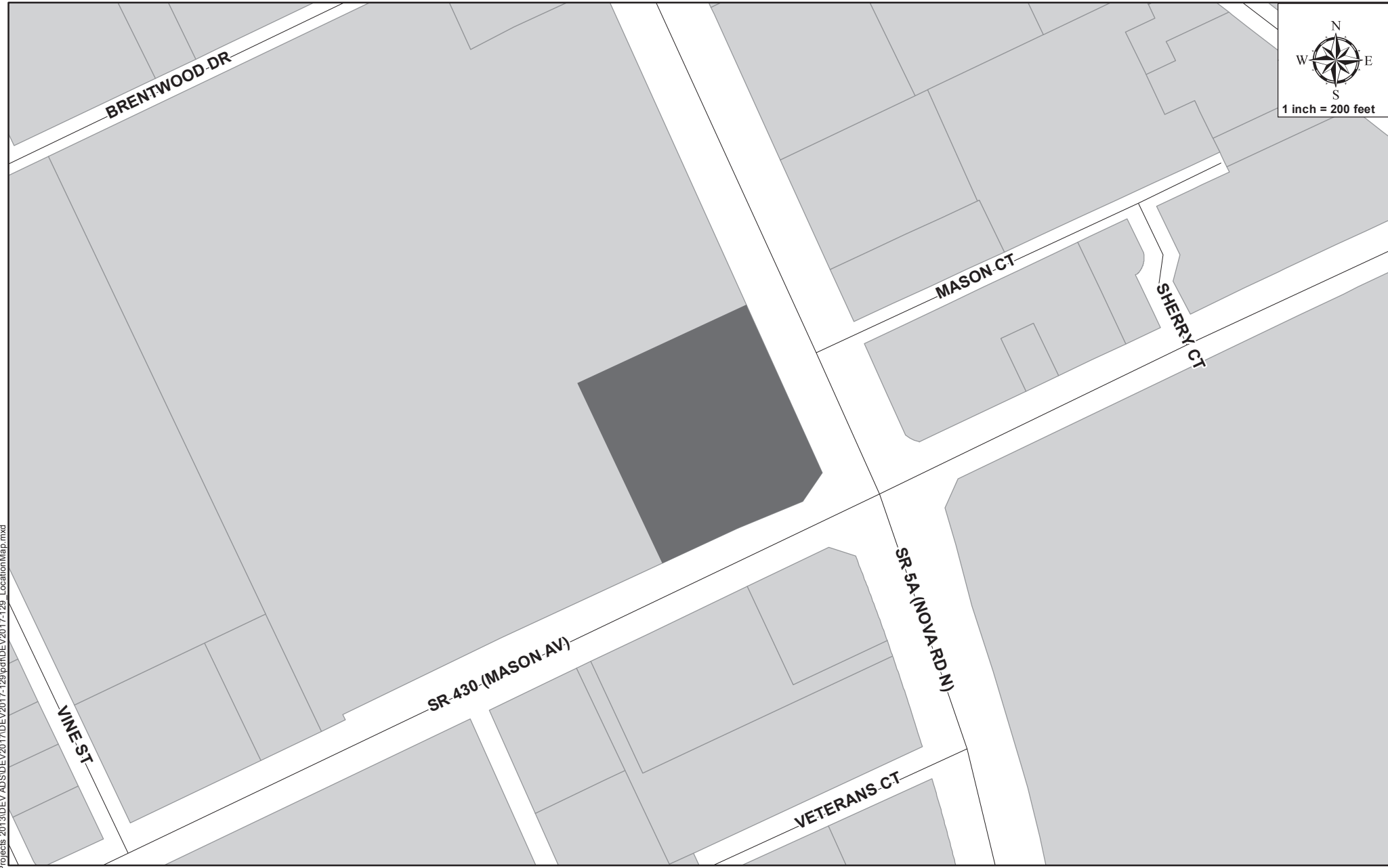
Provided all requested LDC modifications are approved, Staff recommends approval of the Wawa-Holly Hill Plaza Planned District (PD) Agreement to rezone 1.9 +/- acres of property for Business Retail-2 (BR-2) to Planned Development-General (PD-G) to allow for the development a gas station and accessory retail sales.

A majority vote of the Planning Board members present and voting are required to recommend approval to the City Commission.

The item is tentatively scheduled to be heard by the City Commission for first reading May 2, 2018, and for second reading May 16, 2018 (public hearing).



1 inch = 200 feet



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**DEV2017-129  
PLANNED DEVELOPMENT-GENERAL (PD-G) REZONING  
LOCATION MAP**

The City of Daytona Beach Map disclaimer:  
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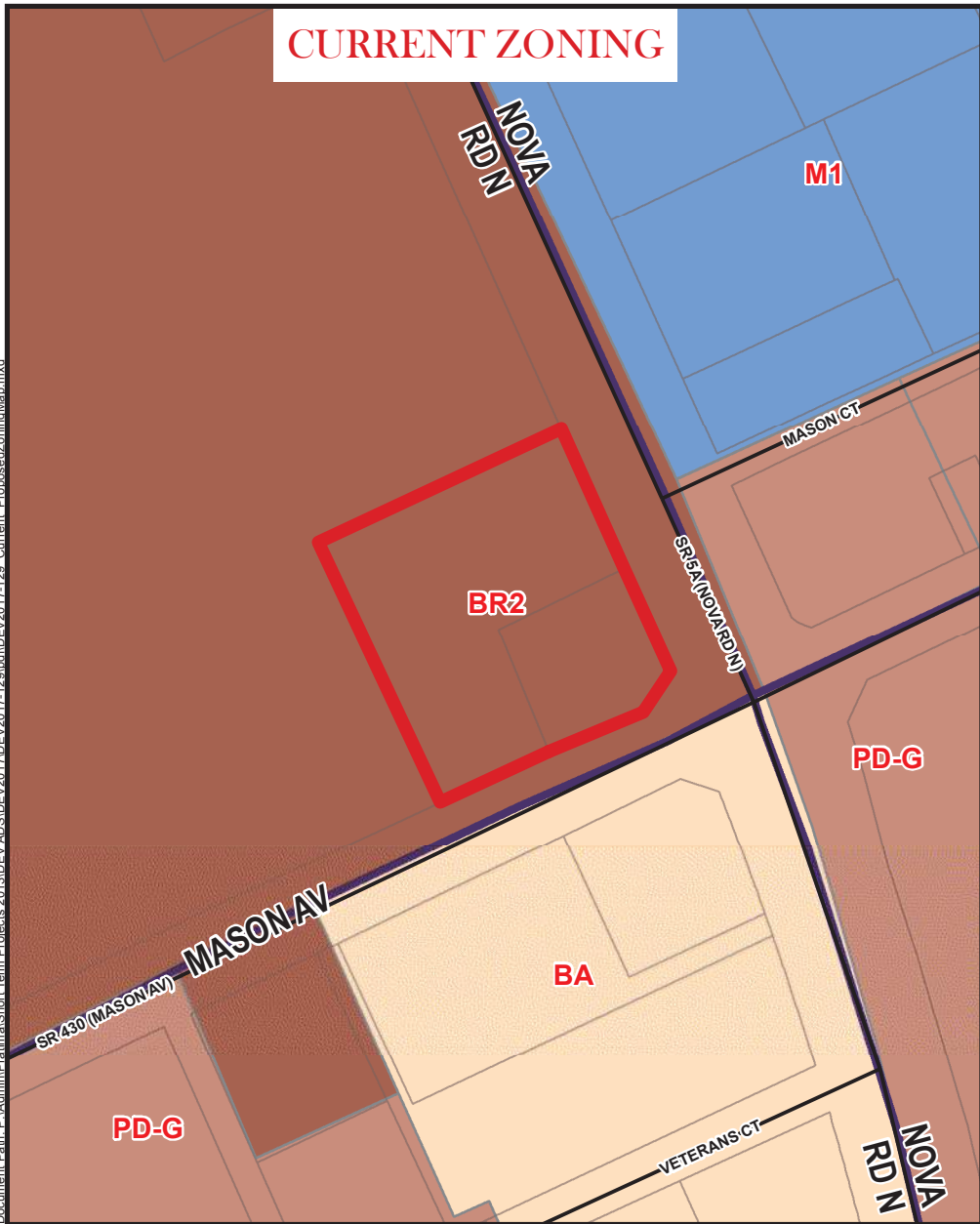
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**DEV2017-129  
PLANNED DEVELOPMENT-GENERAL (PD-G) REZONING  
AERIAL MAP**

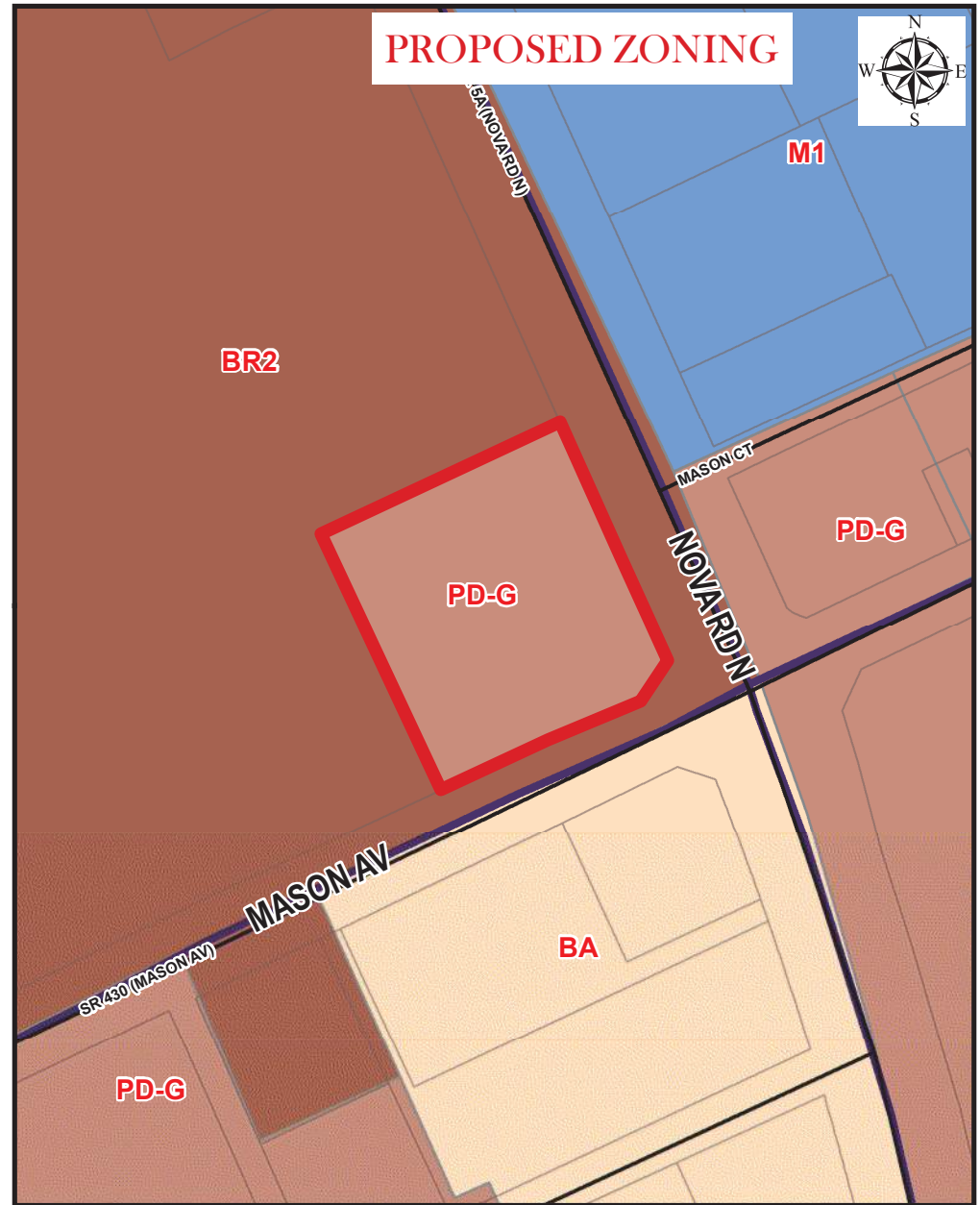
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**CURRENT ZONING**



1 inch = 200 feet

**PROPOSED ZONING**



1 inch = 200 feet

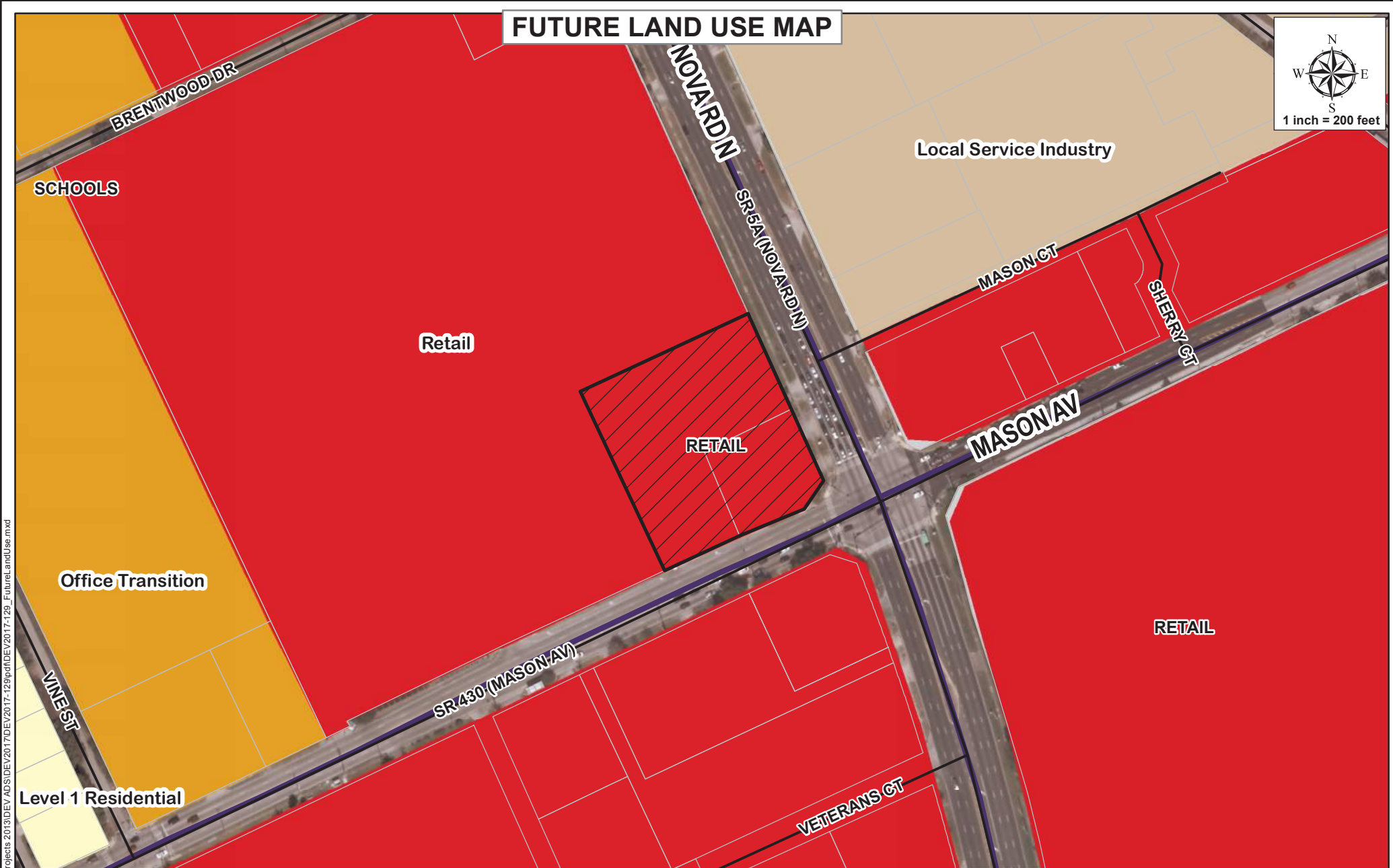


**DEV2017-129  
 PLANNED DEVELOPMENT-GENERAL (PD-G) REZONING  
 CURRENT & PROPOSED ZONING MAP**



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# FUTURE LAND USE MAP



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## DEV2017-129 PLANNED DEVELOPMENT-GENERAL (PD-G) REZONING FUTURE LAND USE (FLU) MAP

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# ATTACHMENT A

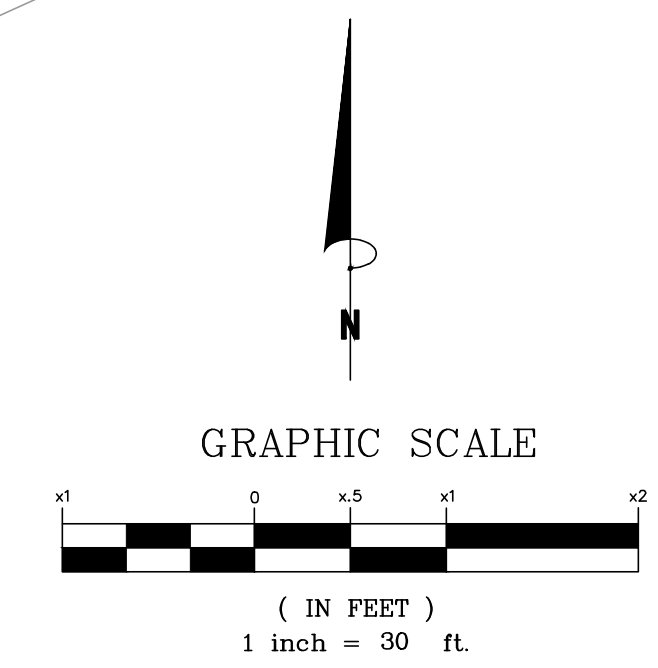
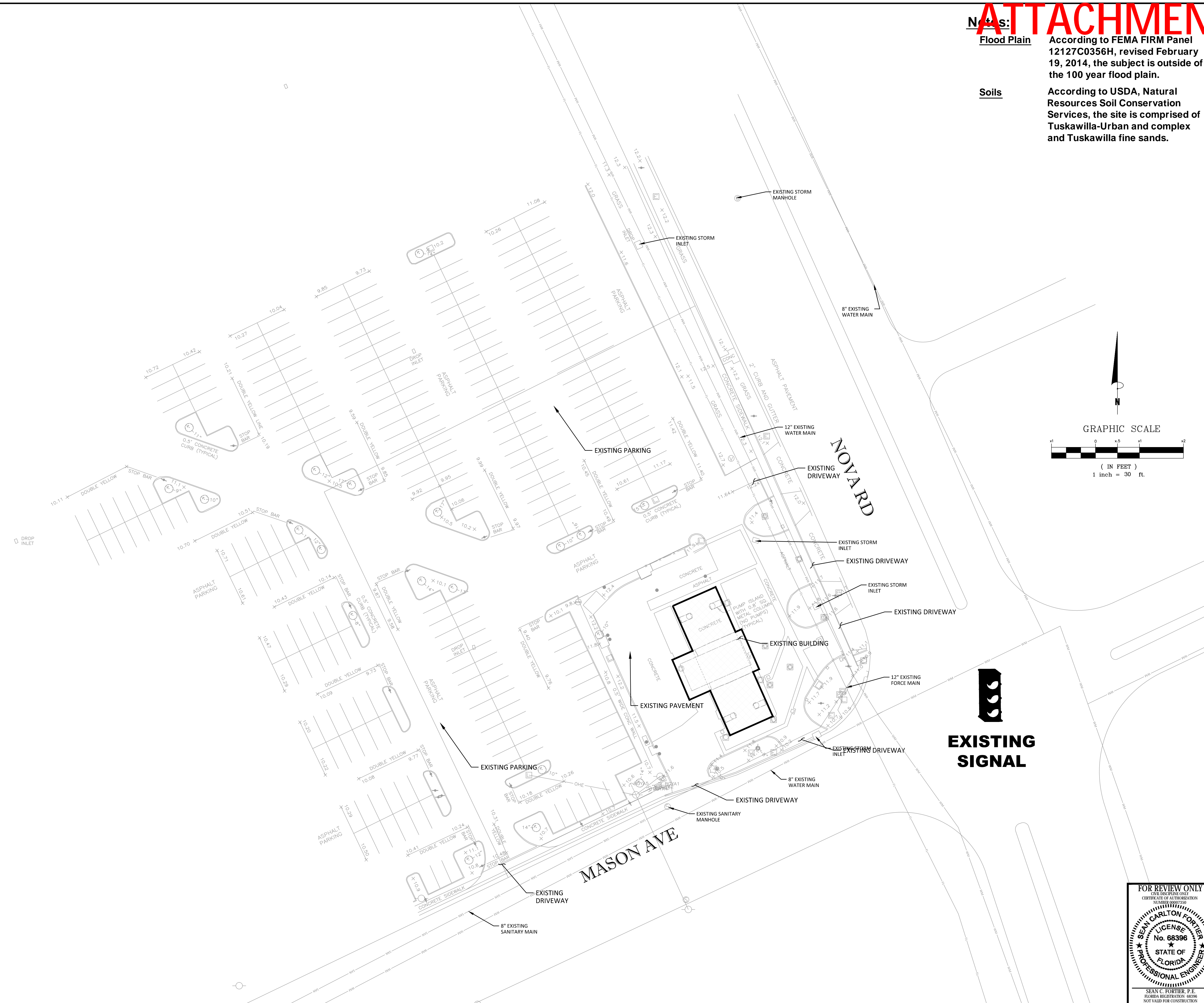
**Flood Plain**

According to FEMA FIRM Panel 12127C0356H, revised February 19, 2014, the subject is outside of the 100 year flood plain.

**Soils**

According to USDA, Natural Resources Soil Conservation Services, the site is comprised of Tuskawilla-Urban and complex and Tuskawilla fine sands.

**KCG**  
 KELLY, COLLINS & GENTRY, LLC  
 1700 NORTH ORANGE AVENUE, SUITE 400  
 ORLANDO, FLORIDA 32804  
 (407) 886-7858 FAX (407) 886-1488



NO.	DATE	REVISION

PREPARED FOR:  
**Wawa**  
 280 W. WAWA, PA 19083

**WAWA**  
 MASON & NOVA

**EXISTING CONDITIONS**

DRAWN: GMM  
 DESIGN: JAM  
 CHECKED: SCF  
 JOB NO.: 073.000  
 DATE: 11/09/2017

SHEET  
 EC-1.0

FOR REVIEW ONLY  
 CIVIL ENGINEERING ONLY  
 CERTIFICATE OF AUTHORIZATION  
 NUMBER 0007550

SEAN CARLTON FORTIER  
 LICENSE No. 68396  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

SEAN C. FORTIER, P.E.  
 FLORIDA REGISTRATION: 68396  
 NOT VALID FOR CONSTRUCTION  
 UNLESS SIGNED IN THIS BLOCK

# ATTACHMENT A

**KCG**  
 KELLY COLLINS GENTRY, LLC  
 1700 NORTH ORANGE AVENUE, SUITE 400  
 ORLANDO, FLORIDA 32804  
 (407) 886-7658 FAX (407) 886-1488

**IMPERVIOUS SURFACE RATIO (ISR)**

PROPOSED ISR	ISR	IMPERVIOUS AREA		PERVIOUS AREA (OPEN SPACE)	PARCEL AREA
		PAVEMENT/SIDEWALK	BUILDING/CANOPY		
WAWA	62%	0.83 AC	0.32 AC	0.71 AC	1.87 AC

**Floor Area Ratio (FAR)**

PROPOSED FAR	FAR	BUILDING	PARCEL AREA

**BUILDING HEIGHT (OF ALL STRUCTURES EXCLUDING SIGNS)**

MAX (CODE) 30'  
 PROPOSED BUILDING HEIGHT 22'-4" (BUILDING), 33'-4" (TO TOP OF TOWER FEATURE)

**CANOPY HEIGHT**

REQUIRED	PROPOSED
14'	15'-1.75" (TO BOTTOM OF CANOPY)
18'	21'-2.25" (TO TOP OF CANOPY)

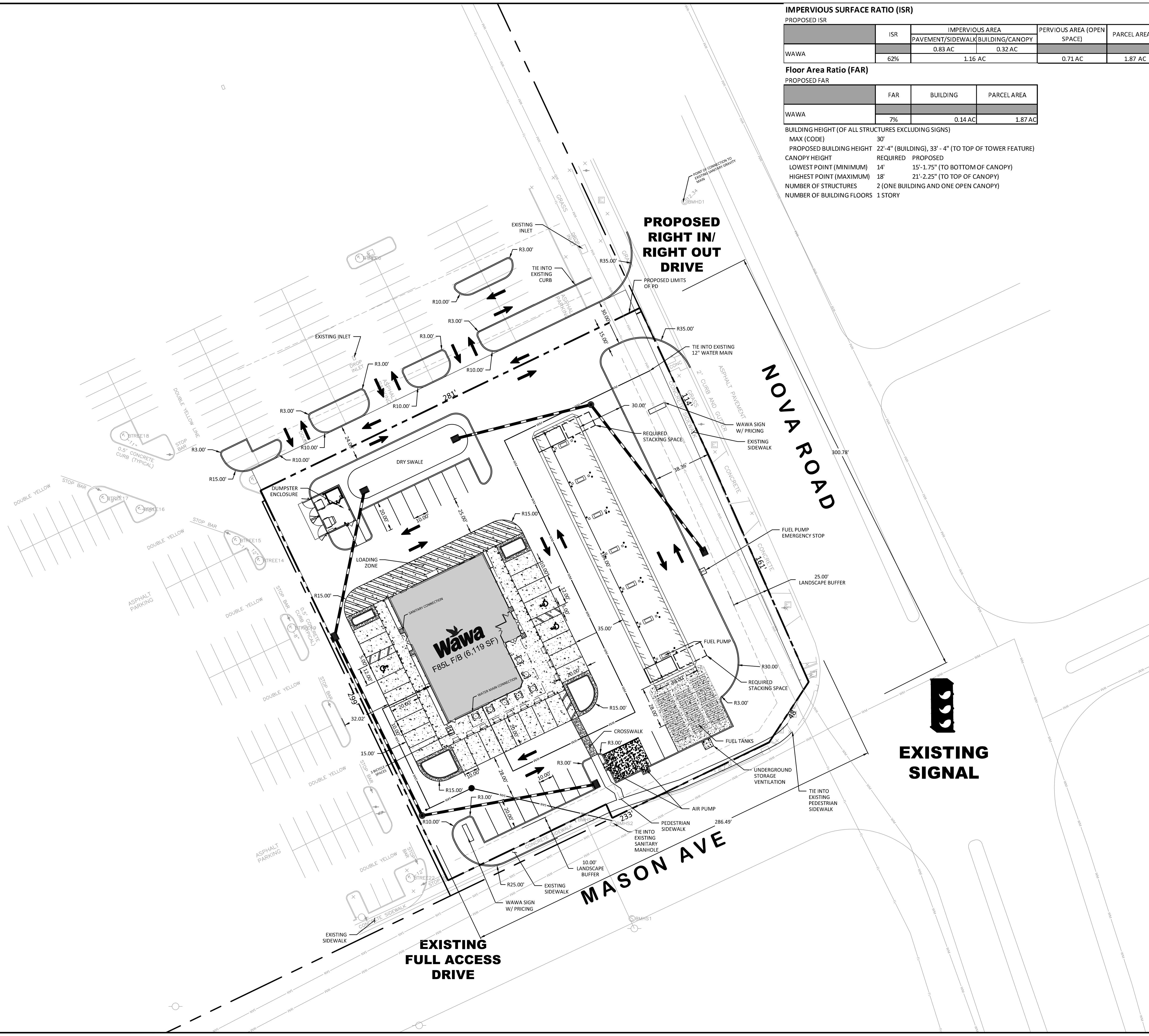
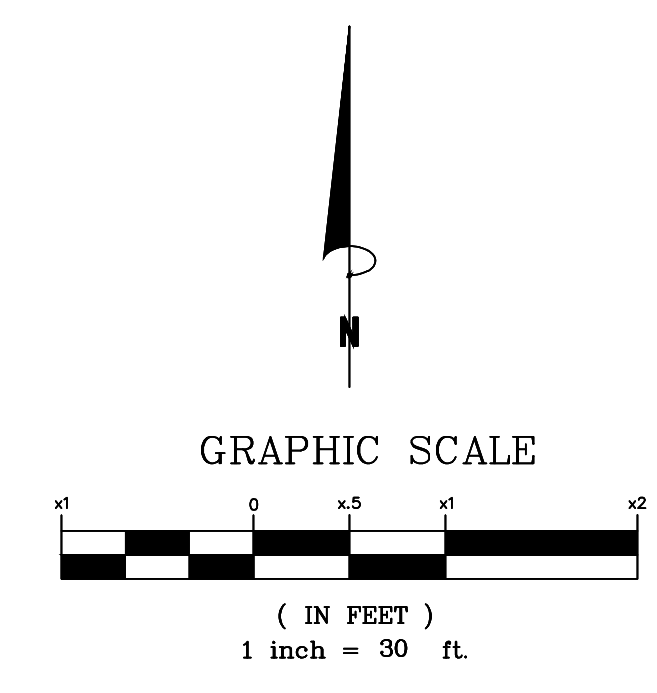
**NUMBER OF STRUCTURES** 2 (ONE BUILDING AND ONE OPEN CANOPY)  
**NUMBER OF BUILDING FLOORS** 1 STORY

**SITE SUMMARY:**

FLU	Retail
Existing Zoning	BR-2
Proposed Zoning	PD
Project Area	1.90 ac
Zoning Area	
Building Area	6,119 sf
Parking Required	3.5SP/1000SF x 6,119SF 1SP/3 PUMPS x 14 PUMPS
	22 spaces 5 spaces
Total	27 spaces
Parking Provided	45 spaces
Setbacks	
Front	0 ft
Side	0 ft
Rear	0 ft

Per the Traffic Impact Analysis prepared by TMC, dated August 2017, Net New Trip Generation is 1,914 ADTS

- NOTES:**
- Utilities** Utilities adjacent to the site are provided by City of Daytona Beach.
  - Site Lighting** At the time of final engineering, a lighting plan will be provided in accordance with the City of Daytona Beach Code of Ordinances Sec 6.9.
  - Environmental** An Environmental Impact Study will be performed and will be provided at the time of final engineering. If there are any environmental impacts on the project site, they will be addressed with the St. Johns Water Management District and the City of Daytona Beach.



REVISION	DATE

PREPARED FOR:  
**Wawa**  
 260 W. WAWA, PA 19083

**WAWA**  
 MASON & NOVA

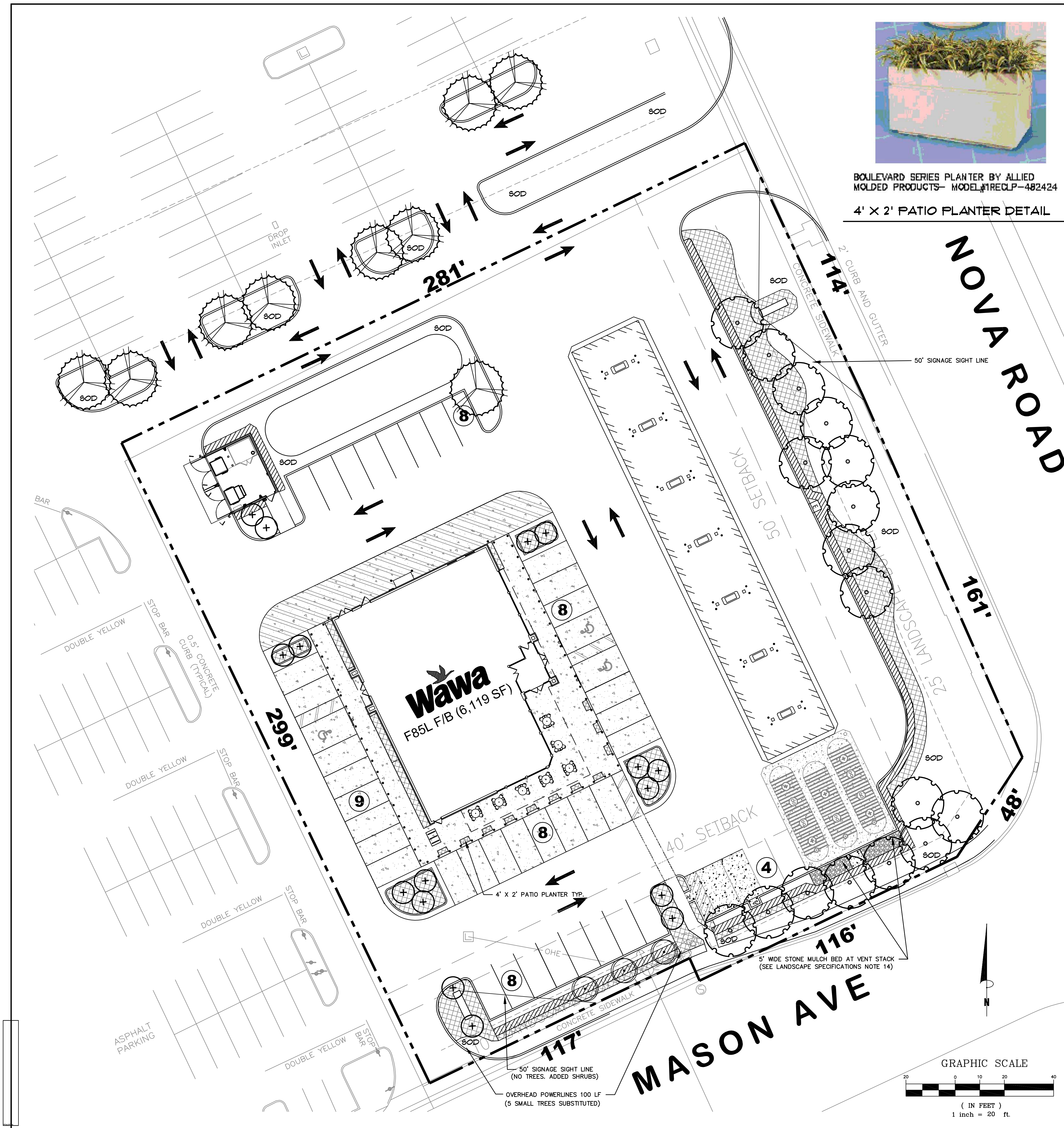
PD PLAN

FOR REVIEW ONLY  
 CIVIL ENGINEERING ONLY  
 CERTIFICATE OF AUTHORIZATION  
 NUMBER 0007550  
**SEAN CARLTON FORTIER**  
 LICENSE  
 No. 68396  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER

SEAN C. FORTIER, P.E.  
 FLORIDA REGISTRATION # 68396  
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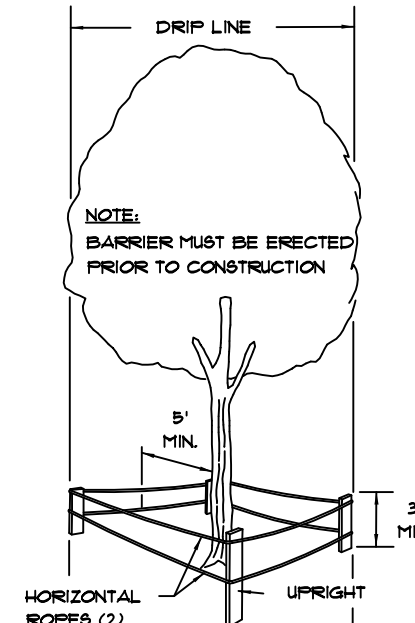
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DATE:	11/09/2017
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**BOULEVARD SERIES PLANTER BY ALLIED MOLDED PRODUCTS- MODEL#1RECLP-482424**  
**4' X 2' PATIO PLANTER DETAIL**

- WHY A BARRIER?**
1. TO PROTECT ALL ABOVE GROUND PORTIONS
  2. TO PROTECT SOIL NEAR TREE FROM COMPACTION
  3. PROVIDES PHYSICAL AND MENTAL AWARENESS OF TREES' PRESENCE TO EQUIPMENT OPERATORS
- SPECIFICATIONS FOR WOOD BARRIER**
1. MINIMUM RADIUS TO BE PROTECTED IS ENTIRE DRIPLINE
  2. MINIMUM 3' IN HEIGHT
  3. UPRIGHTS- THE EQUIVALENT OF 2"x4" LIPSICOR OR 6" MINIMUM CENTERS
  4. HORIZONTAL- THE EQUIVALENT OF TWO COURSES OF 1/2" ROPING WITH YELLOW PLASTIC TAPE FLAGGING
  5. BARRIERS TO BE ERRECTED AROUND TREES TO REMAIN BEFORE CONSTRUCTION OR WHEN NEARBY TREES ARE REMOVED
  6. BARRIERS TO REMAIN IN PLACE UNTIL ALL PAVING CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA



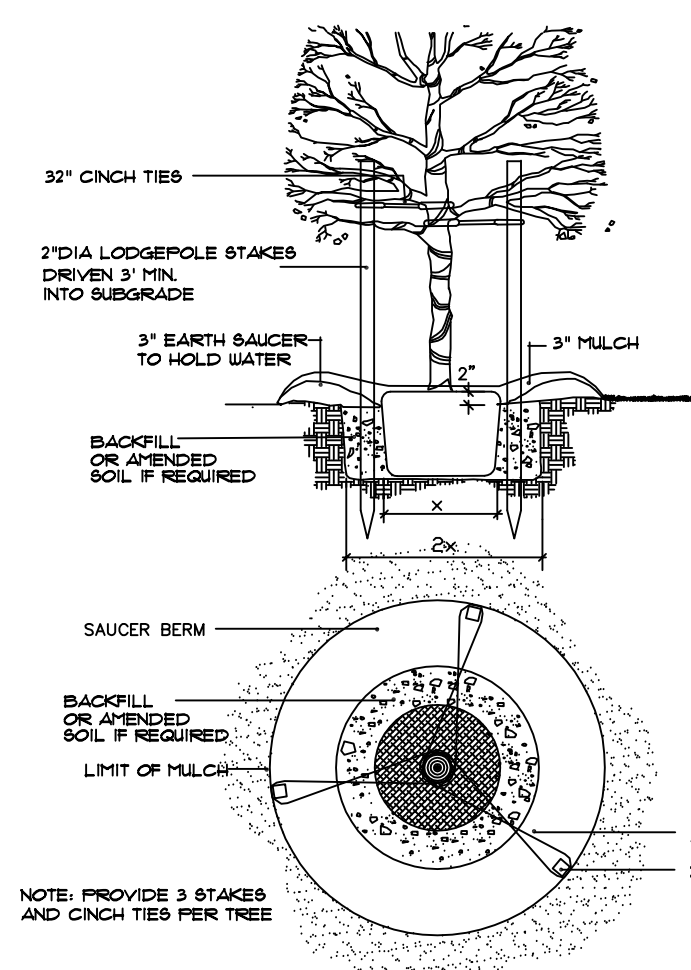
**TREE PROTECTION MEASURES**

- MAGNOLIA (MG)
- OLEANDER (NO)
- CHINESE ELM (UP)
- CABBAGE PALM (SP)
- HEDGE ROW
- ORNAMENTAL SHRUBS AND GROUNDCOVERS

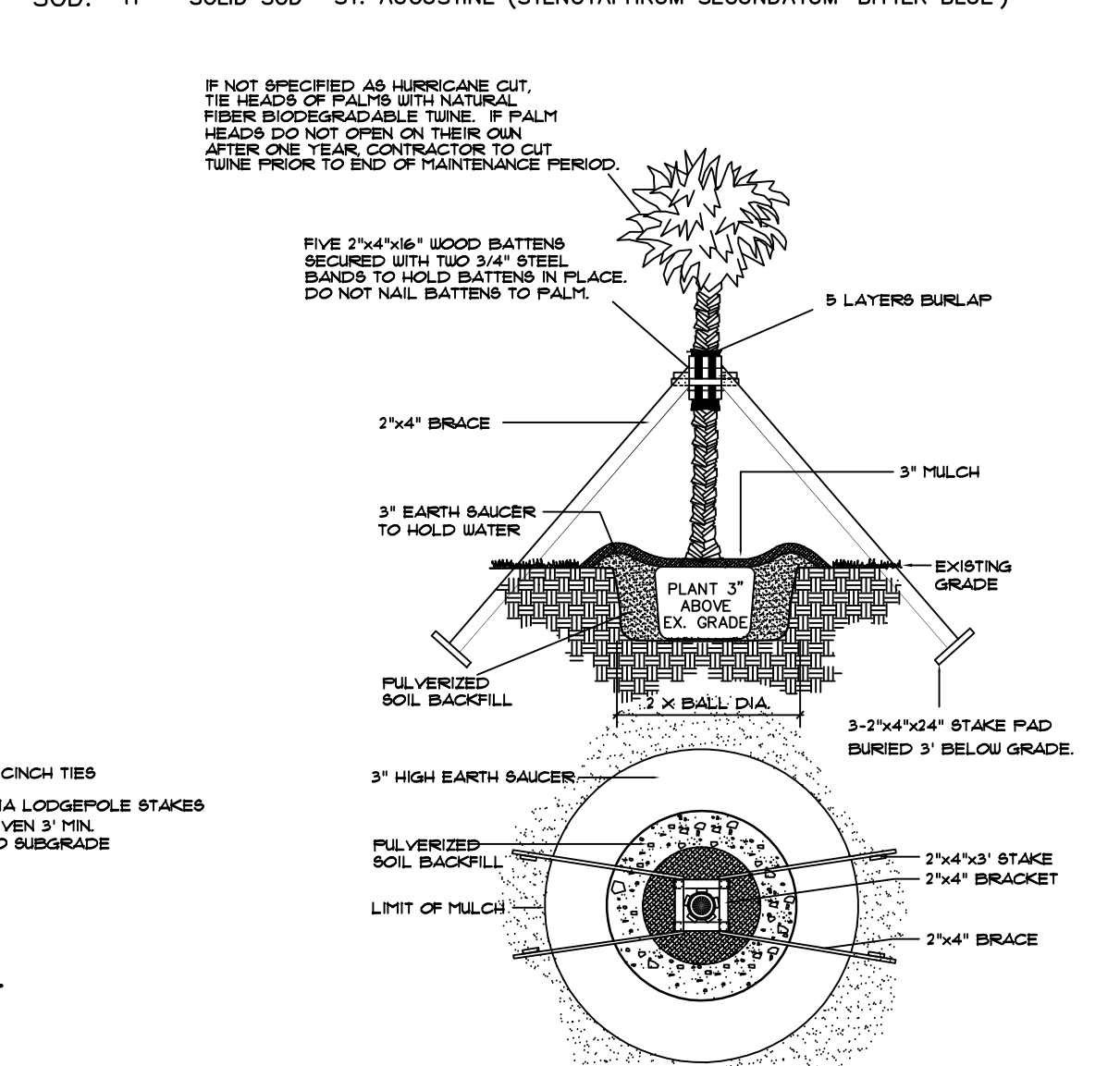
**SYMBOLS & LEGEND**

- STANDARD LANDSCAPE SPECIFICATIONS**
1. ALL TOPSOIL SHALL BE 7" MINIMUM 4" IN L.S. SOIL AND 8" IN T.E. SHUBS AND PLANTS IN BEDS, INCLUDING SPRINKLING, AND BE 1" THICKER THAN THE UNDERLYING SOIL.
  2. PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 5' BEHIND THE CURB LINE.
  3. ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
  4. ALL LANDSCAPE AND GRASS AREAS ARE TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM. (SEE IRRIGATION SPECIFICATIONS)
  5. LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
  6. ROCK MULCH STRIP TO BE DELINEATED WITH 5" ALUMINUM LANDSCAPE EDGING, STAKED AT 3' INTERVALS. ALUMINUM EDGING IS TO BE CLEANLINE 3/16" X 5/8" X 16' PERMALOC. (800-356-9660. //WWW.PERMALOC.COM). FOLLOW MANUFACTURERS INSTALLATION DIRECTIONS.
  7. LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DOWNT, DUPONT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITHIN ALL LANDSCAPES, INCLUDING STONE AND MULCH BEDS. ALL WEED BARRIER SHALL BE OVERLAPPED A MINIMUM OF 6" AT ALL SEAMS. AT PLANT LOCATIONS, BARRIER SHOULD BE CUT IN AN X PATTERN SO TO ACCOMMODATE ROOT BALL AND REPLACED AFTER PLANT HAS BEEN INSTALLED.
  8. WEED BARRIER SHALL NOT BE VISIBLE IN AREAS DESIGNATED FOR STONE MULCH. WHEN STONE IS CALLED FOR ADJACENT TO CURB OR SIDEWALKS, IT SHALL BE FEATHERED DOWN TO CURB LEVEL FROM A DISTANCE 24" FROM THE CURB.
  9. ALL PLANT MATERIAL INSTALLED SHALL MEET THE CURRENT CRITERIA FOR FLORIDA NO. 1 STANDARD.
  10. ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL VIGOROUS ROOT SYSTEMS FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1.
  11. ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND STATE NURSERY/ LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUTTING.
  12. ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES, OR IS NO MORE THAN TWO (2) INCHES ABOVE, FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR-INCH HIGH EARLY EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE SETTLED AND SETTLING MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
  13. AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
  14. ALL PLANTING BEDS AND PITS EXCEPT FOR LANDSCAPE ISLANDS ADJACENT TO THE BUILDING AND DESIGNATED AREA AT THE FUEL VENT STACKS, SHALL BE MULCHED WITH DOUBLE GROUNDED HARDWOOD MULCH AT A MINIMUM DEPTH OF 3". LANDSCAPE ISLANDS ADJACENT TO DESIGNATED AREA AT FUEL STACKS SHALL BE MULCHED WITH 1" RIVER STONE MULCH. FOR LANDSCAPES ADJACENT TO BUILDING, CONTACT PROJECT ENGINEER.
  15. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETION.
  16. ALL PLANT BEDS AND LANDSCAPED ISLANDS MUST BE FREE OF LIME ROCK, CONSTRUCTION DEBRIS, AND ANY IMPERVIOUS MATERIAL. EXCAVATION AND BACKFILLING MAY BE REQUIRED.
  17. A 6" WIDE RING OF MULCH MUST BE MAINTAINED AROUND ANY TREES NOT INCORPORATED INTO PLANT BEDS. THIS REQUIREMENT IS NECESSARY TO PREVENT DAMAGE CAUSED BY MOWERS AND WEED EATERS.
  18. AN 8" SEPARATION IS REQUIRED BETWEEN LARGE TREES AND UNDERGROUND WATER AND SEWER LINES.
  19. ALTERNATE TREES MAY NOT BE USED UNLESS APPROVED BY THE CITY LANDSCAPE INSPECTOR.
  20. PLANTER BOTTOM TO HAVE 2" GRAVEL, DRAINAGE MEDIUM, FILTER FABRIC AND POTTING SOIL TO 2" BELOW RM.

PLANT LIST	
WATER USE ZONE	QTY SYM COMMON NAME (BOTANICAL NAME) SPECIFICATIONS
TREES: L	9 UP CHINESE ELM (ULMUS PARVIFOLIA) 45 GAL. MIN., 10' HT. MIN., 2-1/2" CAL., 4' CT, FULL
L	17 MG MAGNOLIA (MAGNOLIA GRANDIFLORA 'LITTLE GEM') 45 GAL. MIN., 10' HT. MIN., 2-1/2" CAL., 1' CT, FULL
L	3 NO OLEANDER (NERIUM OLEANDER 'HARDY RED') 30 GAL. MIN., 8' HT. MIN., 1-1/2" CAL., MULTI-TRUNK, 3' CT, FULL
L	16 SP CABBAGE PALM (SABAL PALMETTO) 5 @ 10' AND 12', 6 @ 14' CT HT., STAGGER HEIGHTS IN EACH GROUP
HEDGE ROW: M	PT PITTOSPORUM (PITTOSPORUM TOBIRA) 24" HT./SPREAD MIN., FULL, 30" OC TO BECOME 3' HT. IN 4 YEARS
SHRUBS AND GROUNDCOVER: L	RA DW. INDIAN HAWTHORN (RAPIHOLEPIS INDICA 'ALBA') 12" HT./SPREAD MIN., FULL, 30" OC
L	ZF COONTIE (ZAMIA FLORIDANA) 12" HT./SPREAD MIN., FULL, 30" OC
L	AB ORANGE BROMELIAD (AECHMIA BLANCHETIANA 'ORANGE') 24" HT./SPREAD MIN., FULL
L	DT VARIEGATED FLAX LILY (DANIELLA TASMANICA 'VARIEGATA') 12" HT./SPREAD MIN., FULL, 24" OC
SOD: H	SOLID SOD ST. AUGUSTINE (STENOTAPHRUM SECUNDATUM 'BITTER BLUE')



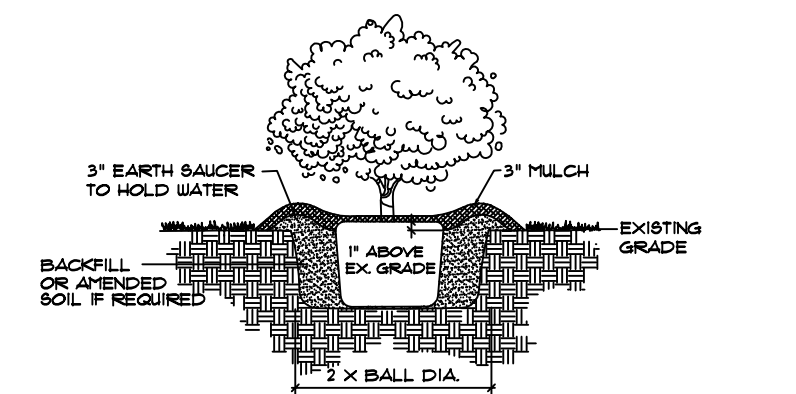
**TREE PLANTING DETAIL**



**PALM PLANTING DETAIL**

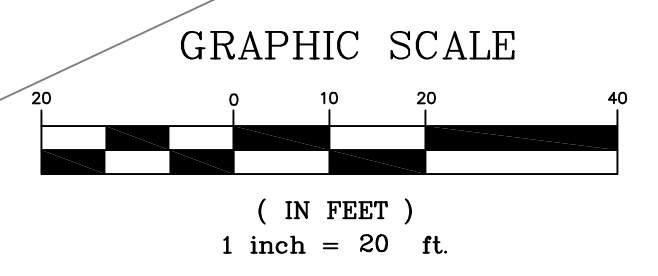
**LDC SECTION 6.4 LANDSCAPING**

- SEC. 6.4.C (1)(d): 25% MINIMUM FLOWERING SHRUBS IN R-O-W LANDSCAPE AREAS.
- SEC. 6.4.D (2) f (1): 5 SHADE TREES REQUIRED PER 100 LF OF LANDSCAPE STRIP; NOVA ROAD = 251 LF LANDSCAPE STRIP = 13 CANOPY TREES AT 5 PER 100 LF PROVIDED MASON AVE. = 251 LF LANDSCAPE STRIP = 13 CANOPY TREES AT 5 PER 100 LF PROVIDED
- SEC. 6.4.E (b)(viii): 25% MINIMUM LANDSCAPE AREA COVERAGE IN SHRUBS/GROUNDCOVER



**SHRUB AND GROUNDCOVER PLANTING DETAIL**

J. SCOTT LIBERTY, LANDSCAPE ARCHITECT  
 FLORIDA REGISTRATION NO. LA000001416  
 5621 REVELWOOD LOOP, WINTER PARK, FL 32782  
 PHONE: 407-118-324 FAX: 407-671-6324



# ATTACHMENT A



RIGHT (NORTHWEST) ELEVATION



FRONT (NORTHEAST) ELEVATION (NOVA RD.)

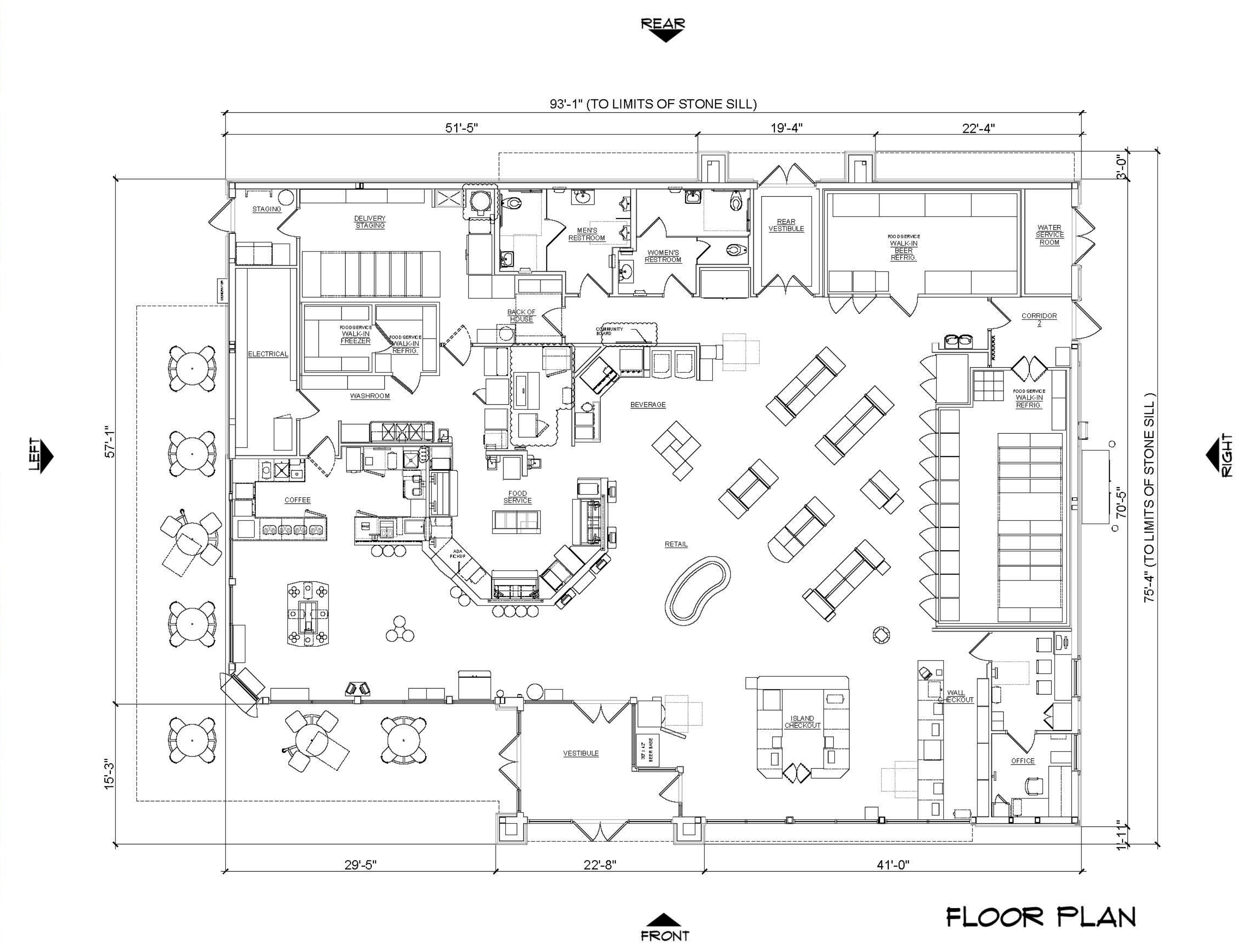


REAR (SOUTHWEST) ELEVATION

Metal Door Benjamin Moore White Diamond BM 2121-60	Metal Overhang Atlas #17 Brite Red
Trim James Hardie Arctic White JH10-20	Stucco Senery Meringue #3085
Fiber Cement Siding James Hardie Harris Cream	Ice Storage Benjamin Moore Natural Wicker OC-1
Metal Roof Atlas #23 23 Coppertone	Exterior Stone Cultured Stone Southwest Blend



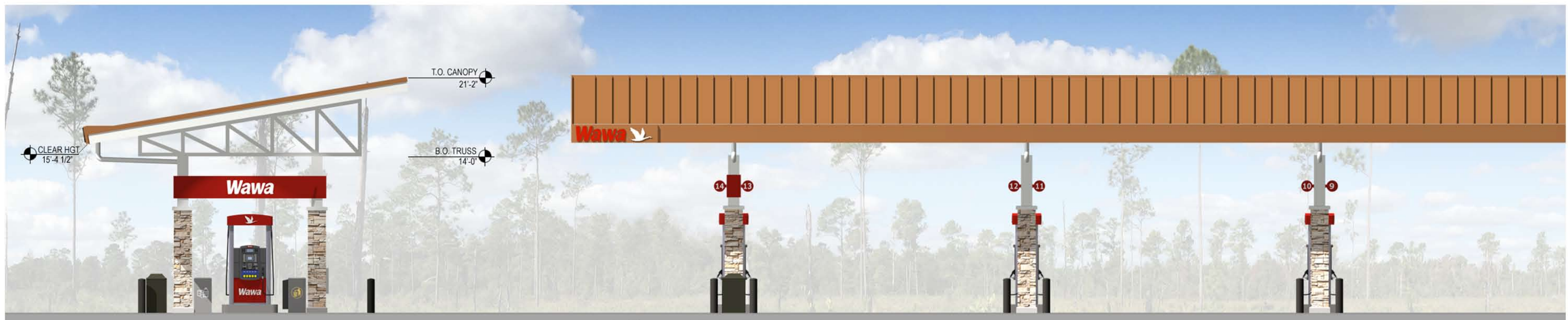
LEFT (SOUTHEAST) ELEVATION (MASON AVE.)



FLOOR PLAN

NOTE:  
SIGNAGE IS SHOWN FOR REFERENCE ONLY  
SEPARATE PERMIT REQUIRED

# ATTACHMENT A



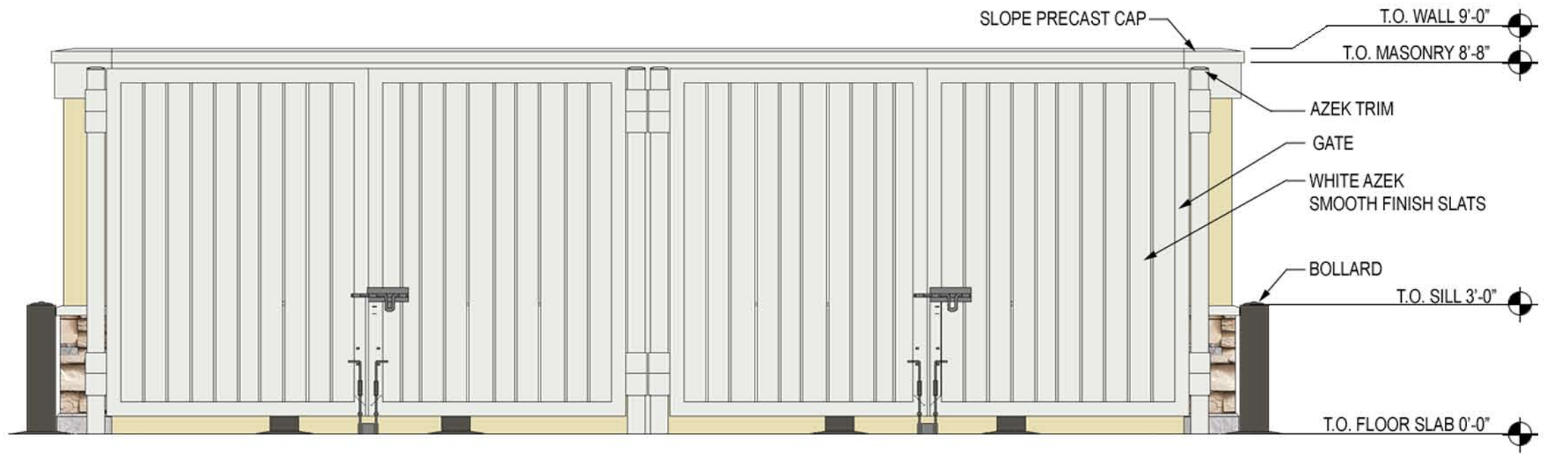
CANOPY END ELEVATION

CANOPY SIDE ELEVATION



CANOPY PERSPECTIVE VIEW

- Metal  
Atas International  
Bone White  
# 26
- Metal Roof  
Atas International  
Coppertone  
# 23
- Exterior Stone  
Cultured Stone  
Southwest Blend



FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

- Metal Door  
Benjamin Moore  
White Diamond  
BM 2121-60
- Azek Trim  
White
- Stucco  
Senery  
Meringue #3085
- Exterior Stone  
Cultured Stone  
Southwest Blend



## GAS CANOPY STRAIGHT 1 - TRASH COMPOUND FLSQ17-L STORE #5232

Nova Rd. & Mason Ave., - Daytona Beach, FL • C&P Project #2160843 • 08-16-2017

**THOMAS**

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Wawa #5332

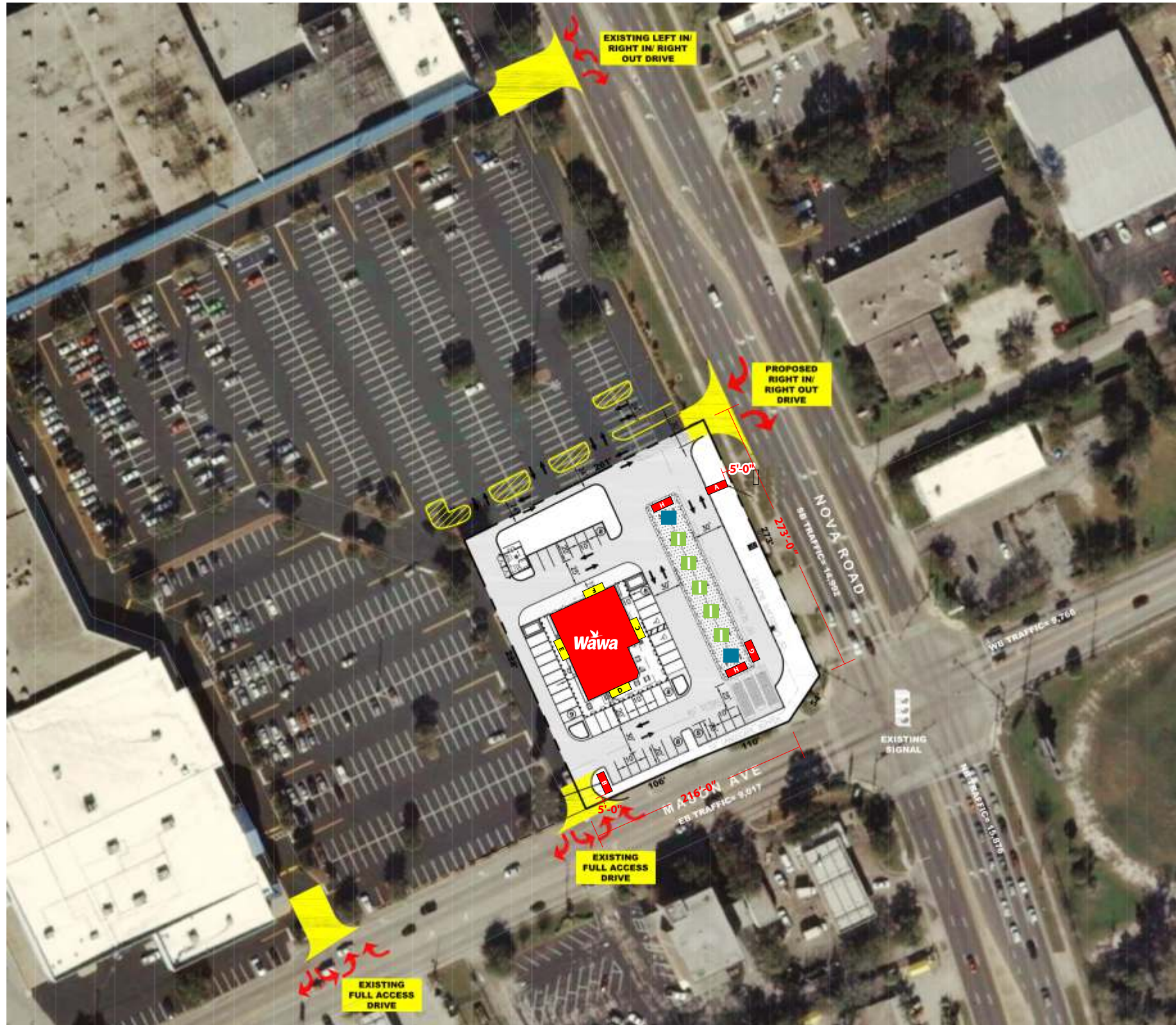
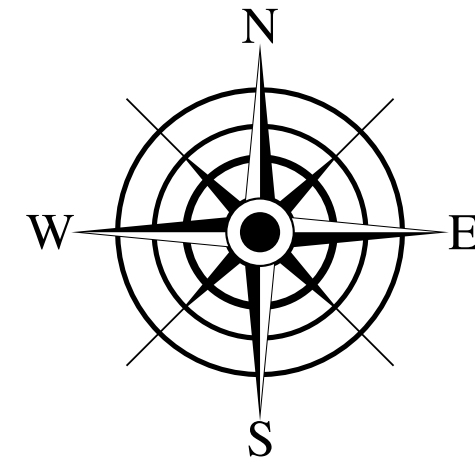
Design Number:  
69190

Installation Address:  
Mason & Nova  
Daytona Beach, FL

Project Identity Number:  
77045

Sales Associate:	Project Team:
TSA	BB
Designer:	Date:
MBV	06.22.17

Project Updates:  
Rev: Updated map and legend 06.27.17  
MBV



**LEGEND**

- A) POLE/EMC PRICERS@ 27' OAH (105.44 SF)
- B) POLE/EMC PRICERS@ 23' OAH (59.78 SF)
- C) 3'-8" CHANNEL LETTERS WITH GOOSE LOGO (67.71 SF) FRONT ELEVATION
- D) 2'-11 1/4" CHANNEL LETTERS WITH GOOSE LOGO (43.74 SF) LEFT ELEVATION
- E) 3'-2 1/2" CHANNEL LETTERS WITH GOOSE LOGO (52.24 SF) REAR ELEVATION
- F) 2'-4" CHANNEL LETTERS WITH GOOSE LOGO (27.77 SF) RIGHT ELEVATION
- G) GAS CANOPY SIGN (9.02 SF)
- H) GAS CANOPY SPANNER (6.06 SF) QTY: 2



3M<sup>TM</sup> MCS<sup>TM</sup> Warranty



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Approval:

Approved  
DATE: \_\_\_\_\_

Approved as noted  
DATE: \_\_\_\_\_

Revise & Re-Submit  
DATE: \_\_\_\_\_

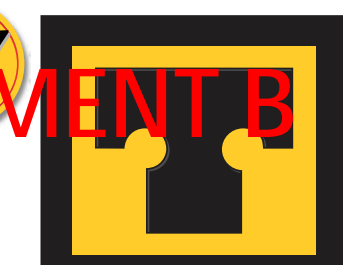
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Fax: 727-573-0328



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CLIENT  
Wawa #5332

Design Number:  
69190

Installation Address:  
Mason & Nova  
Daytona Beach, FL

Project Identity Number:  
77045

Sales Associate: Project Team:

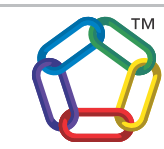
TSA BB

Designer: Date:

MBV 06.22.17

Project Updates:

Rev: Updated sign title , and gas pricer note  
06.27.17 MBV



3M™ MCS™ Warranty

**UL** Underwriters Laboratories Inc.  
LISTING E89514  
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DATE: \_\_\_\_\_

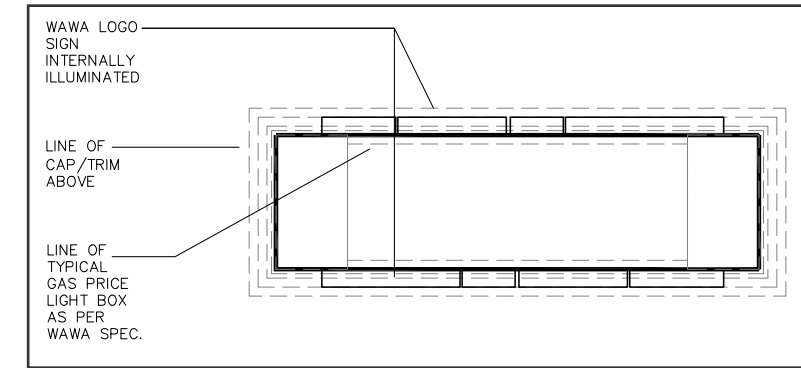
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-  3M #3630-33 Red Vyl (Red Jewelite)
-  3M 7725-13 Tomato Red (EMC Border)
-  3M 7725-46 Kelly Green (EMC Border)
-  3M 7725-57 Olympic Blue (EMC Border)
-  3M 7725-10 White (Fuel Grades)
-  Avery #3730M-U Opaque Bronze
-  #2783 Red flat Acrylic Faces (CL)
-  Paint to match 876C Metallic Copper with Gloss finish (Returns)
-  Paint to match PMS 7401C with satin finish (Pylon Structure)
-  White paint with satin finish (Pylon decorative cap and trim)
-  Base decorative trim by others
-  Stone Base by others

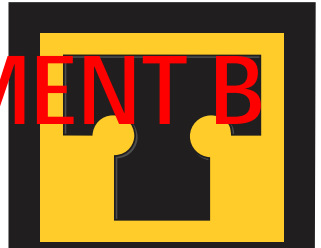
**Color Program**

**A Custom P100-D/F Pylon Display @ 27'-0" O.A.H**

Total Square Feet: 105.44'

SCALE: 1/4" = 1'-0"

2'-4" x 5'-3" Gas Price Display, FL-3000-24-DI  
4'-4" x 9'-4" = 40.44 Sq. Ft. Primary Pylon Face  
10'-0" x 6'-6" = 65 Sq. Ft. EMC Face



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Wawa #5332

Design Number:  
69190

Installation Address:  
Mason & Nova  
Daytona Beach, FL

Project Identity Number:  
77045

Sales Associate: Project Team:

TSA BB

Designer: Date:  
MBV 06.22.17

Project Updates:  
Rev: Adjusted size of pylon 06.27.17 MBV



3M™ MCS™ Warranty



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Approved  
DATE: \_\_\_\_\_

Approved as noted  
DATE: \_\_\_\_\_

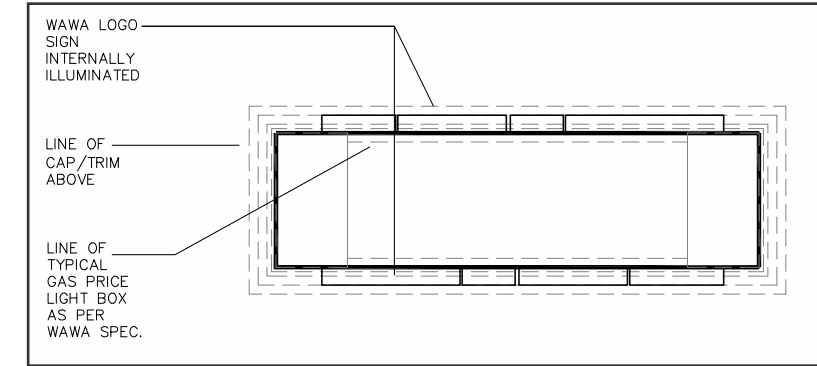
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- 3M #3630-33 Red Vyl (Red Jewelite)
- 3M 7725-13 Tomato Red (EMC Border)
- 3M 7725-46 Kelly Green (EMC Border)
- 3M 7725-57 Olympic Blue (EMC Border)
- 3M 7725-10 White (Fuel Grades)
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- Paint to match 876C Metallic Copper with Gloss finish (Returns)
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- White paint with satin finish (Pylon decorative cap and trim)
- Base decorative trim by others
- Stone Base by others

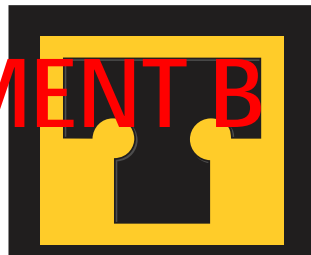
Color Program

**B** Custom P50-D/F Pylon Display @ 23' O.A.H

Total Square Feet: 59.68'

SCALE: 1/4" = 1'-0"

1'-10" x 3'-8" Gas Price Display, FL-3000-18-DI  
3'-6" x 6'-7" = 23.04 Sq. Ft. Primary Pylon Face  
8'-0" x 4'-7" = 36.64 Sq. Ft. EMC Face



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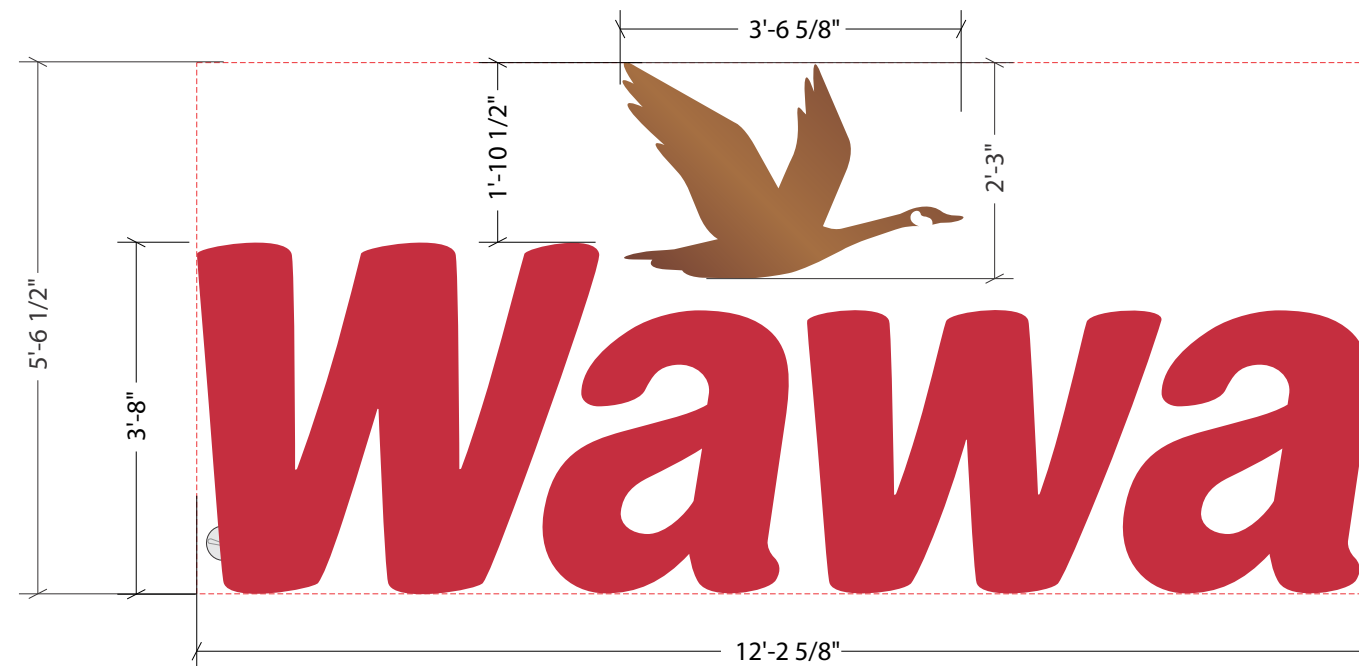
Sales Associate: Project Team:




TSA BB

Designer: Date:

MBV 06.22.17

Project Updates:  
x



-  1" Red Trim Cap
-  Returns & Logo painted PMS 876C Copper Metallic Gloss
-  .187" #2793 Red Acrylic Face

Color Program

**C** LED Channel Letters Remote Mount w/ LED Halo Lit Logo

SCALE: 1/2" = 1'-0"  
Sq. Ft.:67.71'



**C** Proposed Front (East) Elevation

SCALE: 3/32 = 1'-0"



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Approval:

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Revise & Re-Submit

DATE: \_\_\_\_\_

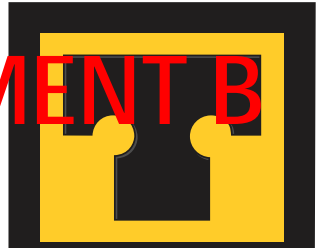
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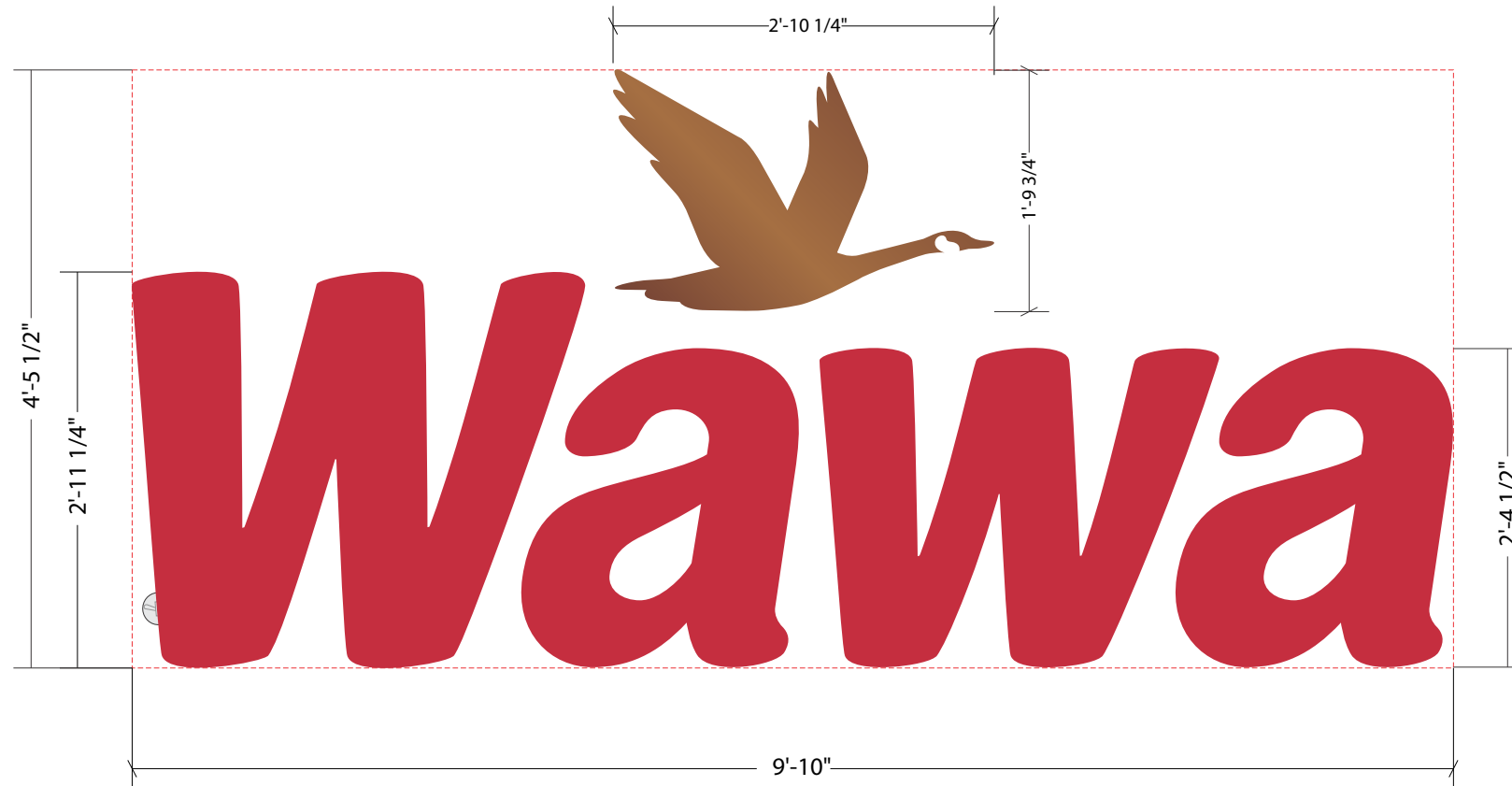
Sales Associate: Project Team:

TSA BB

Designer: Date:

MBV 06.22.17

Project Updates:  
x



- 1" Red Trim Cap
- Returns & Logo painted PMS 876C Copper Metallic Gloss
- .187" #2793 Red Acrylic Face

**Color Program**

**D** LED Channel Letters Remote Mount w/ LED Halo Lit Logo

SCALE: 3/4" = 1'-0"  
Sq. Ft.: 43.74'



**D** Proposed Left (South) Elevation

SCALE: 3/32 = 1'-0"



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Approval:

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DATE: \_\_\_\_\_

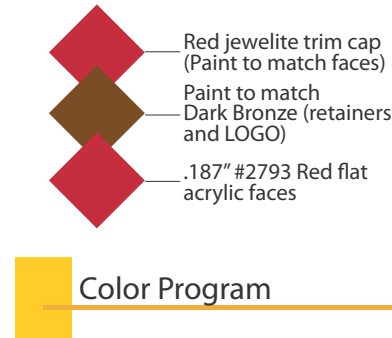
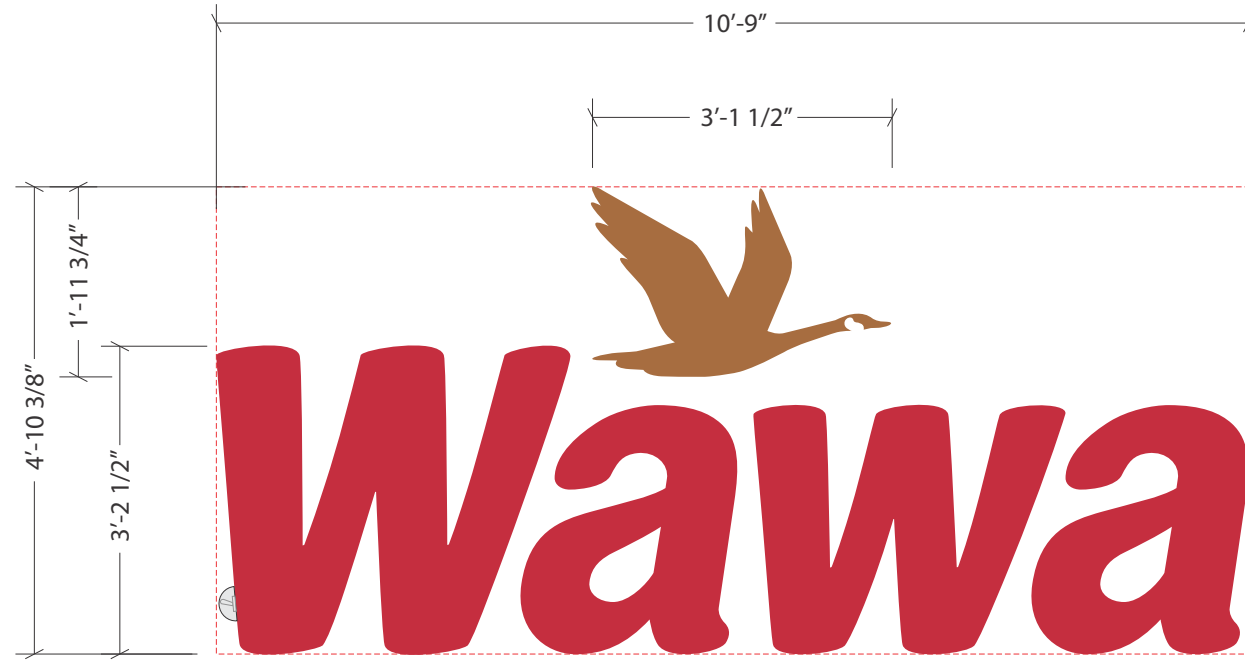
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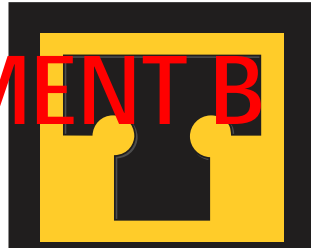
**E** Custom 38" LED Channel Letters Remote Mount with LED Halo Lit Logo

SCALE: 1/2" = 1'-0"  
SQ.FT: 52.28'



**E** Proposed Rear (West) Elevation

SCALE: 3/32 = 1'-0"



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Daytona Beach, FL

Project Identity Number:  
77045

Sales Associate: Project Team:

TSA BB

Designer: Date:

MBV 06.22.17

Project Updates:  
Rev: Enlarged CL 06.27.17 MBV



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Laboratories Inc.  
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Approved  
DATE: \_\_\_\_\_

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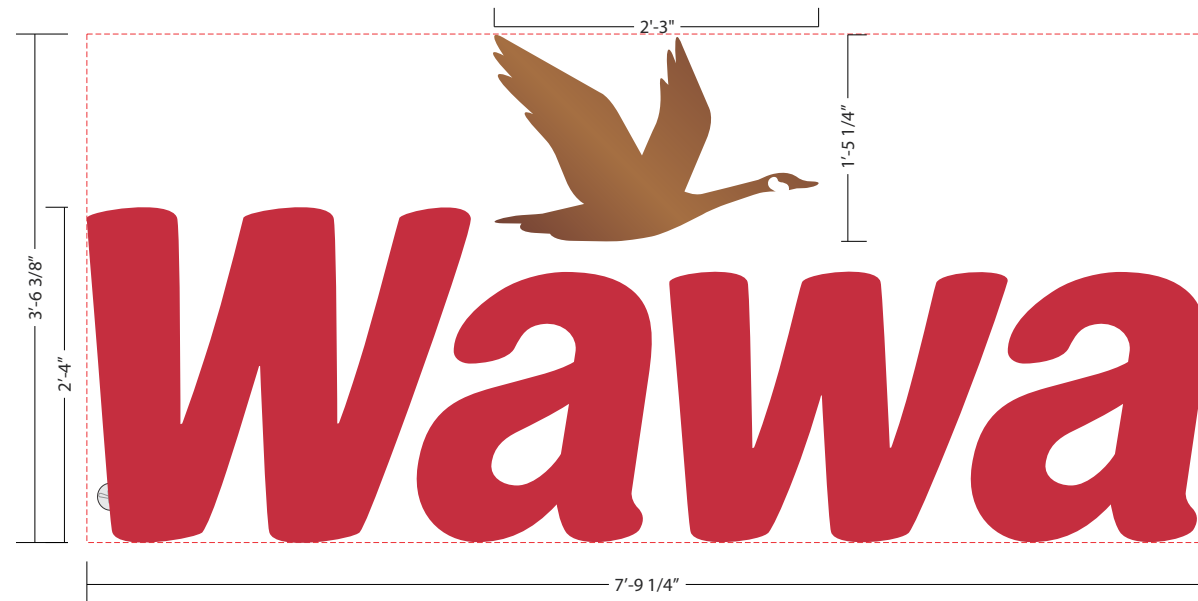
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Sales Associate:	Project Team:
TSA	BB
Designer:	Date:
MBV	06.22.17



- 1" Red Trim Cap
- Retainers & Logo painted PMS 876C Copper Metallic Gloss
- .187" #2793 Red Acrylic Face
- Avery #3730M-U Opaque Bronze

Color Program

**F** LED Channel Letters Remote Mount w/ LED Halo Lit Logo

SCALE: 3/4" = 1'-0"  
Boxed Sq. Ft.: 27.77'



**F** Proposed Right Elevation - North

SCALE: 3/32 = 1'-0"



3M<sup>TM</sup> MCS<sup>TM</sup> Warranty



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Approval:

Approved  
DATE: \_\_\_\_\_

Approved as noted  
DATE: \_\_\_\_\_

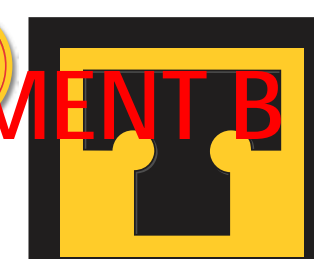
Revise & Re-Submit  
DATE: \_\_\_\_\_

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**THOMAS**

SIGN & AWNING CO INC

4590 118TH Avenue North  
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

Wawa #5332

Design Number:  
69190

Installation Address:  
Mason & Nova  
Daytona Beach, FL

Project Identity Number:  
77045

Sales Associate: Project Team:

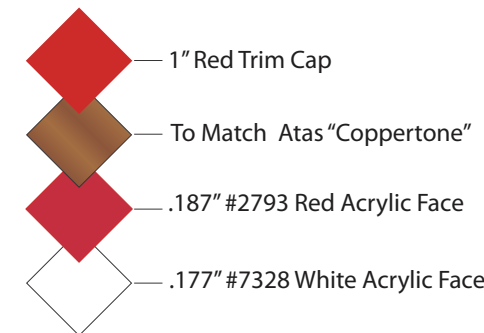
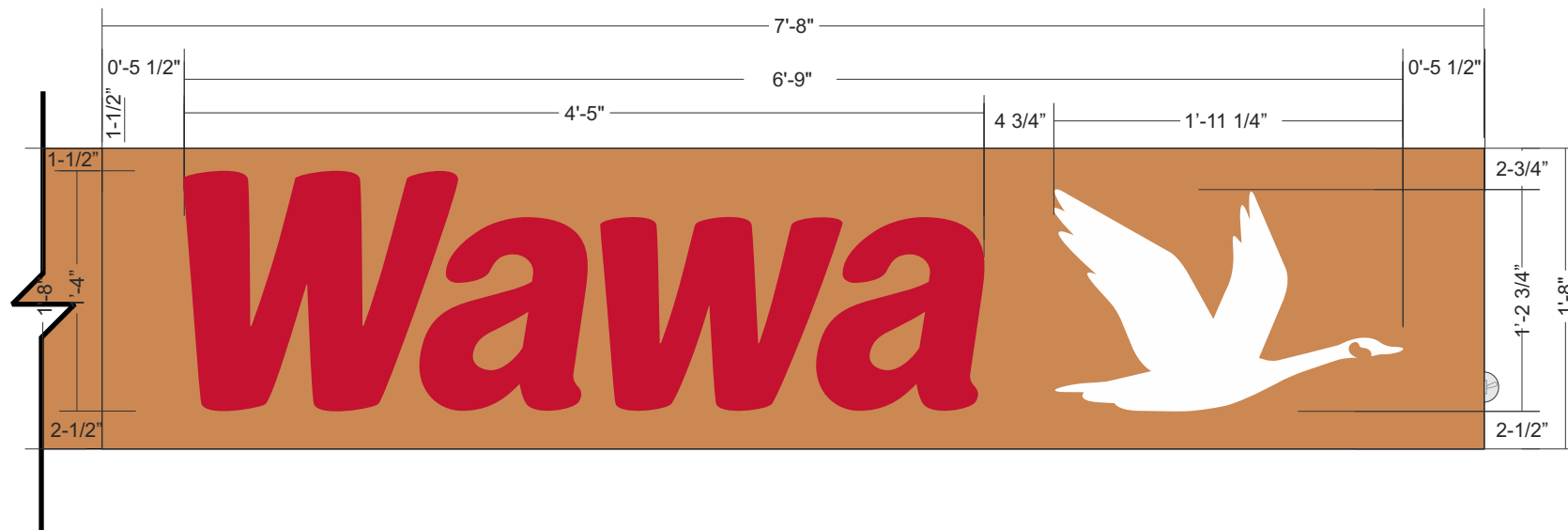
TSA BB

Designer: Date:

MBV 06.22.17

Project Updates:

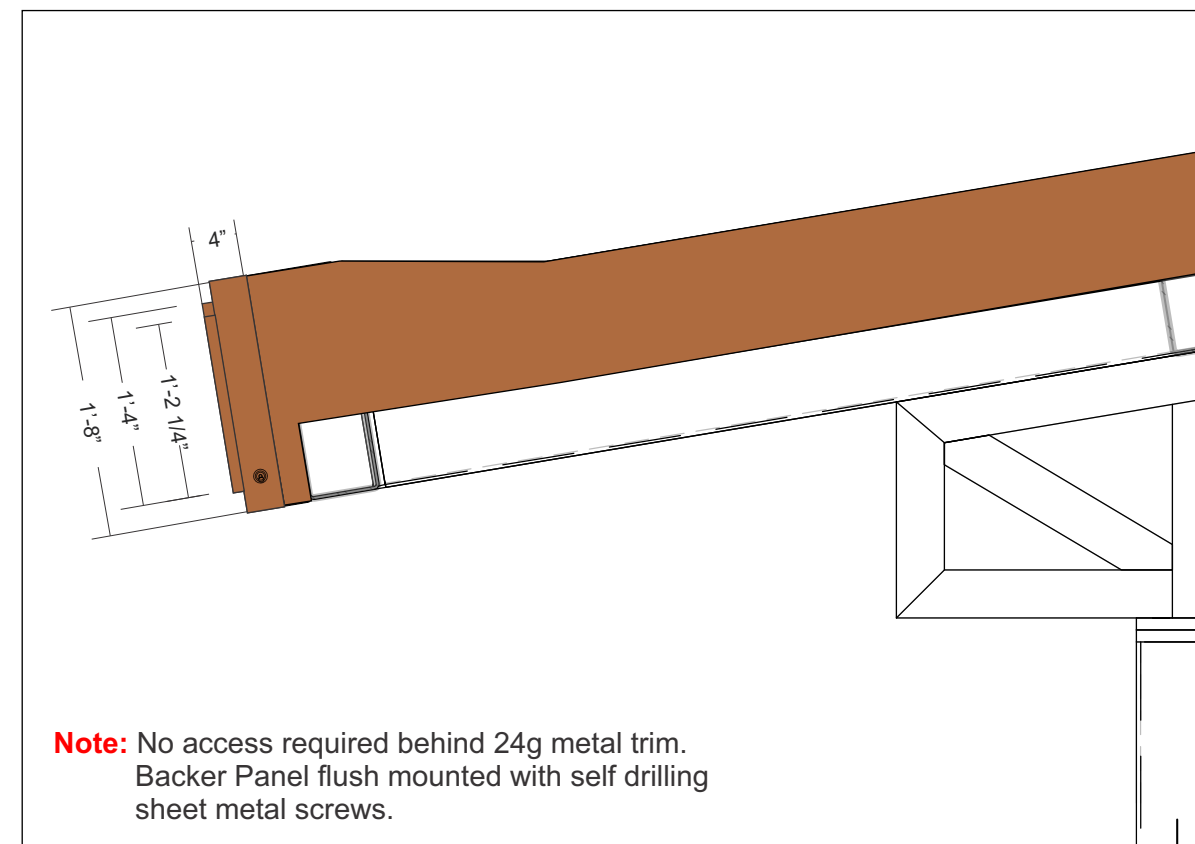
Rev: Updated to left side install 06.27.17 MBV



Color Program

**G** 1" Deep LED Illuminated Letters & Logo (on 3" Deep Routed Aluminum, Self-Contained Wireway)- Left Side

Scale: 1" = 1'-0"  
SQFT: 9.02'



**Note:** No access required behind 24g metal trim.  
Backer Panel flush mounted with self drilling  
sheet metal screws.

Self-Contained Flush Mount Canopy Sign (Side View)

Scale: 3/4" = 1'-0"



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Approval:

Approved  
DATE: \_\_\_\_\_

Approved as noted  
DATE: \_\_\_\_\_

Revise & Re-Submit  
DATE: \_\_\_\_\_

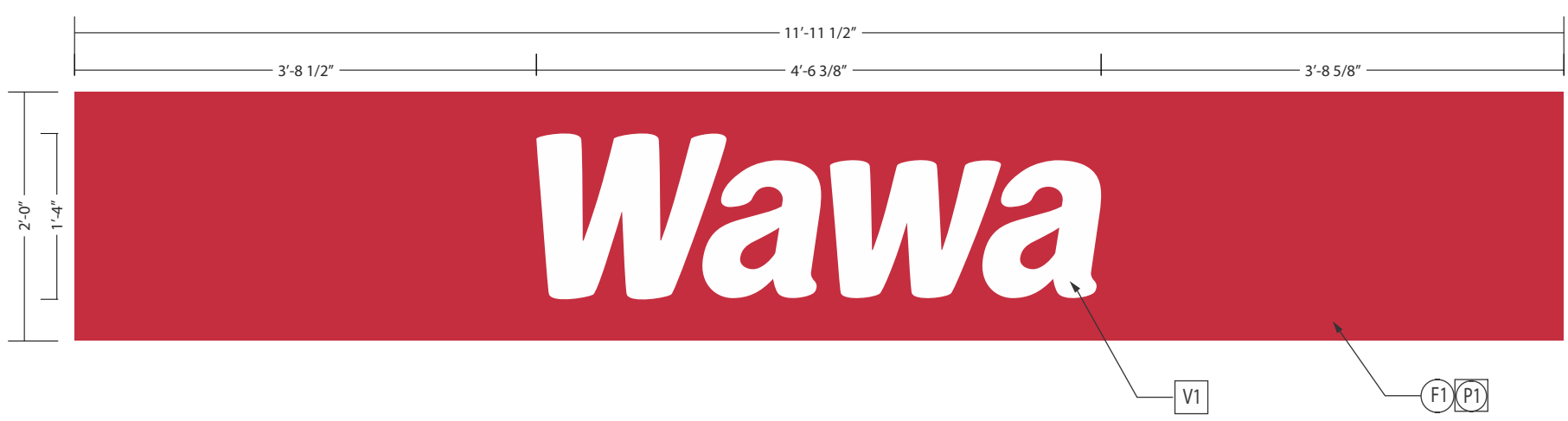
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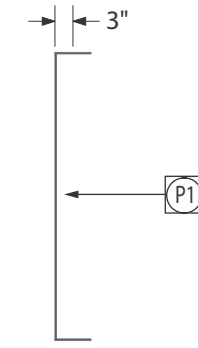
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9 OF 11

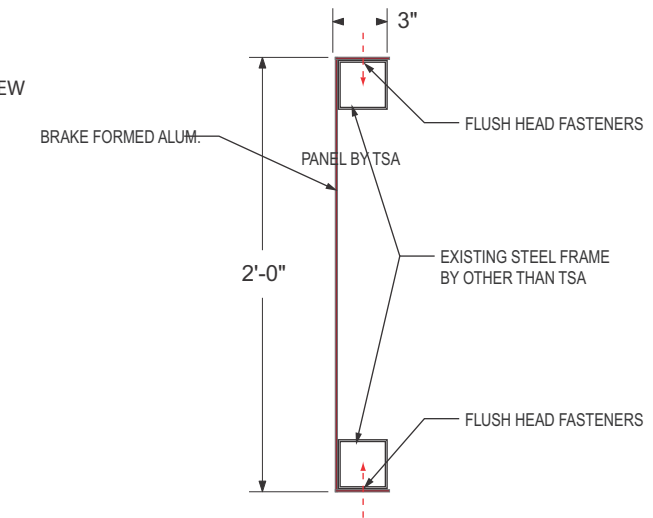
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(P1) PAINT COLORS (E1) ELECTRICAL NOTES



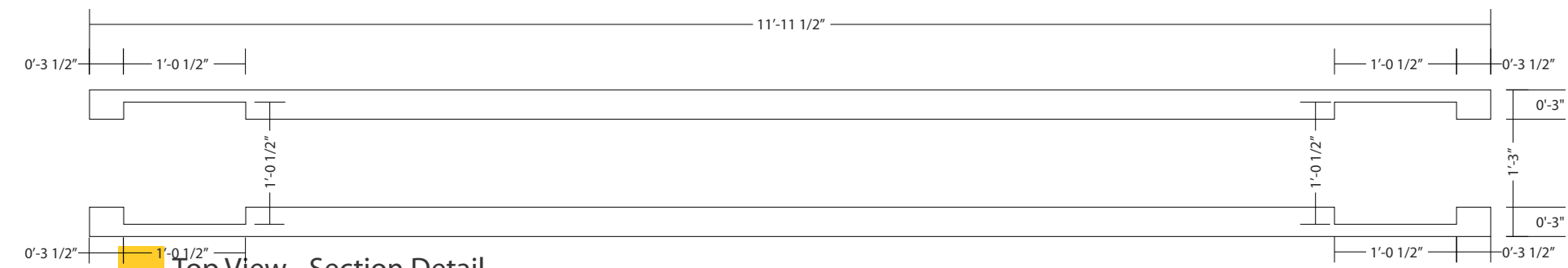
SIDE VIEW



Mounting Detail  
SCALE: NTS

**H** S/F Brakeformed Alum. Gas Pump Canopy Spanner Panel (6.06 SQ FT) - QTY: 2 6.06' SF

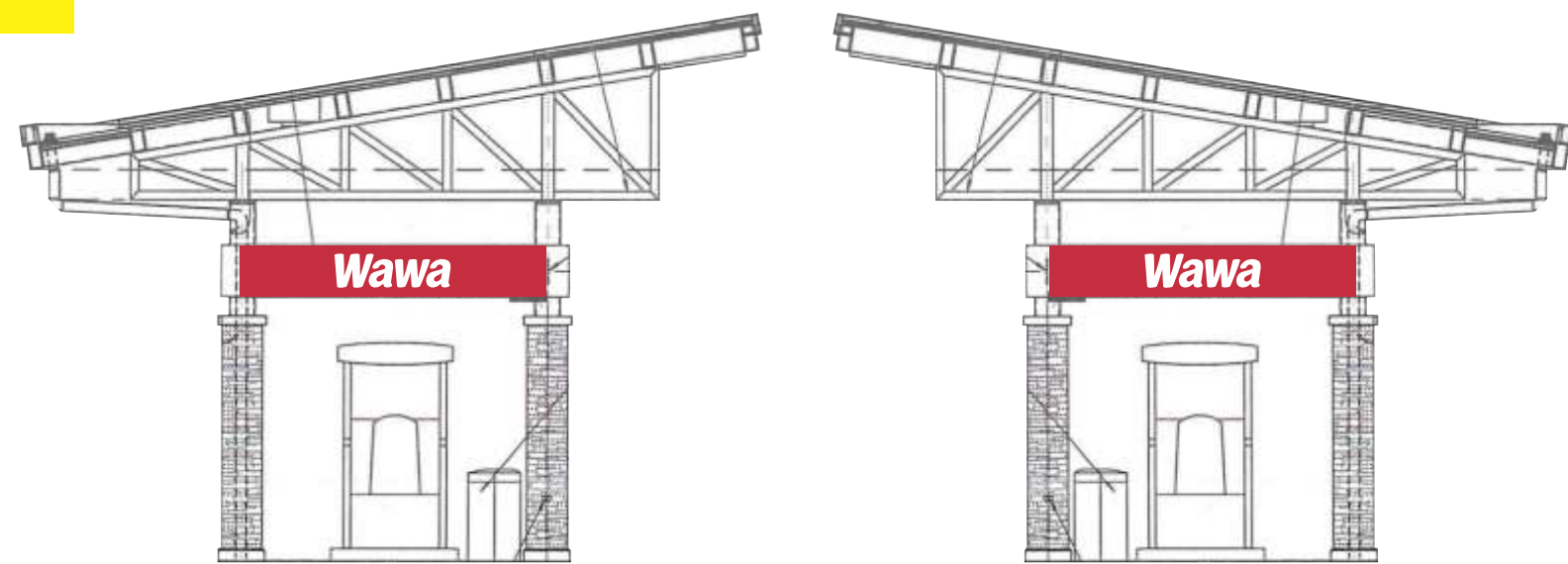
SCALE: 3/4" = 1'-0"



Top View - Section Detail

SCALE: 3/4" = 1'-0"

Panels to be secured top & bottom around periphery of panel to existing structure / frame every 16" c/c with #8 x 3/4" S.S. tek screws.



**H** Pump Elevation View

NTS



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CLIENT

Wawa #5332

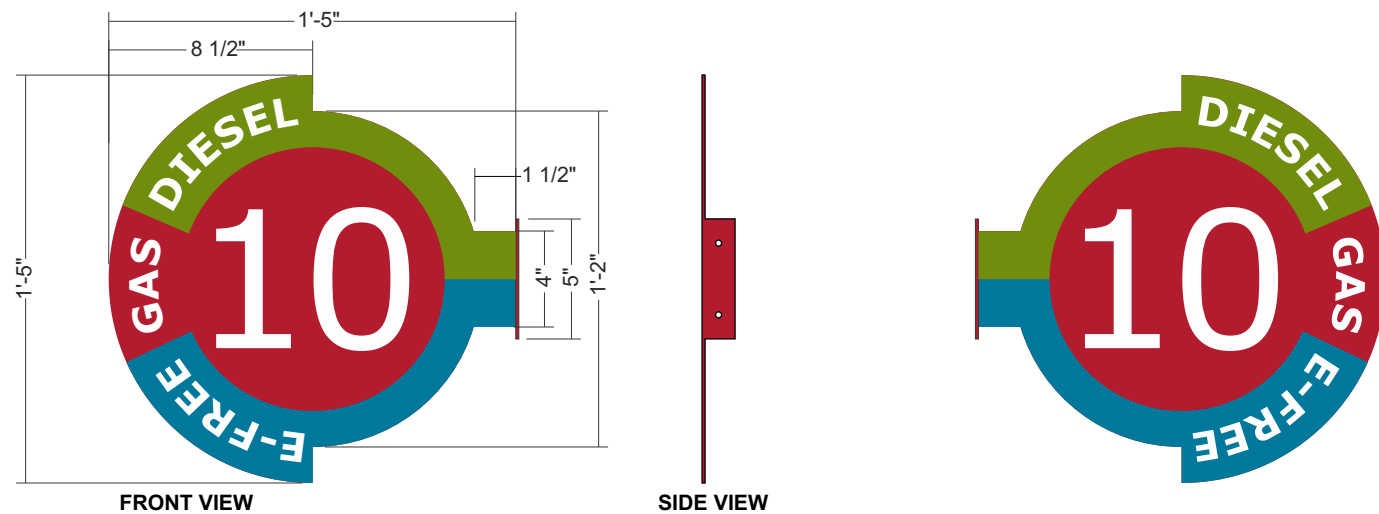
Design Number:  
69190

Installation Address:  
Mason & Nova  
Daytona Beach, FL

Project Identity Number:  
77045

Sales Associate:	Project Team:
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Designer:	Date:
MBV	06.22.17

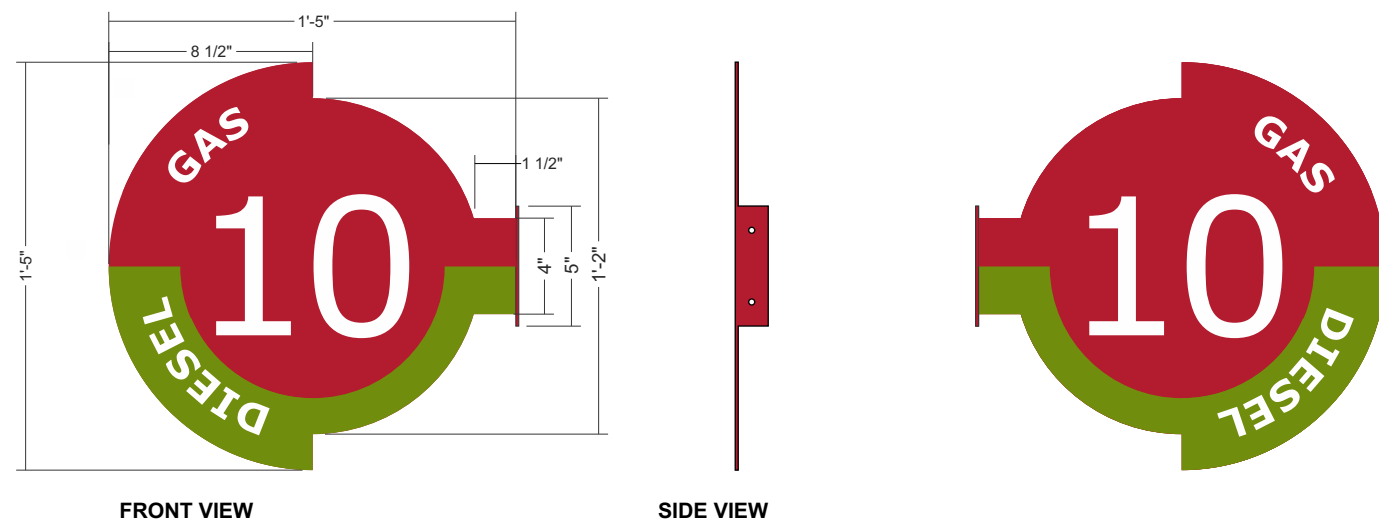
Project Updates:  
x



I Double Sided Pump Indicator Sign (3+1+1) - Qty. = 10

Font Used: Verdana Regular

SCALE: 1-1/2" = 1'-0"



J Double Sided Pump Indicator Sign (3+1) - Qty. = 4

Font Used: Verdana Regular

SCALE: 1-1/2" = 1'-0"



To match PMS 187C Red  
with satin finish

To match PMS 7468C Blue  
with satin finish

To match PMS 377C Green  
with satin finish

3M #180C - 10 White Vinyl

Color Key



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Approval:

Approved

DATE: \_\_\_\_\_

Approved as noted

DATE: \_\_\_\_\_

Revise & Re-Submit

DATE: \_\_\_\_\_

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# *Wawa-Holly Hill Plaza*

## **Planned Development Rezoning Public Benefit/Modification Letter**

**±1.90 Acres  
From: BR-2  
To: Planned Development**

Prepared By:



**KELLY,  
COLLINS &  
GENTRY, INC.**  

---

**ENGINEERING / PLANNING**



## PD Rezoning Narrative

The first Wawa Food Market opened in Pennsylvania in 1964 as an outlet for dairy products. Today, Wawa remains a family owned business offering a highly desirable alternative to traditional “gas stations” with affordable quality deli options, fresh, built-to-order foods, beverages, coffee, no surcharge ATMs and free air dispenser. As of July 2012, Wawa has become an integral part of the Central Florida Community with over 30 stores throughout the Orlando and Tampa Markets and the creation of close to 2,000 jobs. The winner of the 2013 Beautification Award in Orlando, Wawa is proud to be recognized for its continued commitment to enhancing the community environment through litter prevention, waste reduction and recycling, and beautification.

As illustrated on the enclosed rendering, the site design includes extensive windows along the façade and dual frontage accessibility. These intentional site designs along with an average of 60 employees per store collectively provide a safe and clean environment for customers and employees.

**Market Area** – Within the vicinity of the subject property, the development pattern ranges from single family residential and public space uses to commercial and retail uses concentrated along the Mason Avenue and Nova Road corridors. The subject property is a former service station that is currently vacant. Uses within the immediate vicinity of the subject include the Holly Hill Plaza shopping center to the north and west of the site, a KFC fast food restaurant to the east, a vacant parcel to the southeast and a Sunoco service station to the south of the subject.

A Wawa Neighborhood Market is consistent and compatible with the current land use pattern and existing mix of uses along the corridor. A general evaluation of the area indicates a significant retail opportunity for a neighborhood serving market with fresh food, beverages and general merchandise consistent with the market demands serving the local residents and workforce within the City of Daytona Beach.

With the wide variety of residential and nonresidential uses in the area, the Wawa Market provides a compatible use consistent with the existing and emerging development patterns in the immediate vicinity of the subject property.

**Utilities** – As indicated on the attached Utility Map, an 8 inch water main is available to the south within the Mason Avenue right of way and to the west servicing the Holly Hill Plaza, and a 12 inch water main is available to the east within the Nova Road right of way. An 8 inch gravity sewer main is located to the south within the Mason Avenue right of way and to the west servicing the Holly Hill Plaza. A 12 inch sanitary force main is located to the east within the Nova Road right of way.

**Environmental Considerations** –The proposed Wawa project is located on a previously developed shopping center/gas station site. It is outside of the 100 year flood plain and per USDA is comprised of Tuscawilla-Urban land complex and Tuscawilla fine sand.

# Waiver Summary

The following waivers are requested for the Proposed Wawa Planned Development from the City of Daytona Beach Land Development Code and based on the underlying zoning classification of BR-2. This sheet is a portion of the Public Benefit/Modification Letter provided in previous submittals.

## SIGNAGE

### **Regulations per Parcel Per Table 6.10.K.2.A:**

Corner lots are permitted one sign permitted above for each 35 ft of building frontage up to a maximum of four signs on each street and a total of six signs per use, not exceeding maximum sign area per parcel.

**Proposed Number of Signs:**

- 2 ground signs**
- 4 wall signs**
- 2 canopy signs**
- 8 signs total**

***Waiver requested to allow for 8 signs instead of the 6 maximum allowed.***

### **Wall Sign requirements per Section 6.10.J.14 and Table 6.10.K.2.A:**

- 2 sf per 1 linear ft of lot frontage up to 200 sf
- Sign area is entire area within single continuous square, rectangle or circular perimeter enclosing the extreme limits of the advertising message.

### ***Proposed PD Wall Signage:***

<b><i>East Wall (facing Nova Road)</i></b>	<b><i>67.71 sf</i></b>
<b><i>South Wall (facing Mason Avenue)</i></b>	<b><i>43.74 sf</i></b>
<b><i>West Wall (Interior Facing)</i></b>	<b><i>52.24 sf</i></b>
<b><i>North Wall (Interior Facing)</i></b>	<b><i><u>27.77 sf</u></i></b>
<b><i>Total SF-</i></b>	<b><i>191.19 sf</i></b>

***No Waiver Requested.***

### **Ground Sign requirements per Section 6.10.J.7 and Table 6.10.K.2.A:**

- 2 Ground Signs Allowed with 200 ft of frontage
- 1 sf per 1 linear ft of lot frontage up to 120 sf
- Up to 35 ft in height
- 50% reduction of sign area on side frontage (Mason Avenue)
- 5 ft setback





- ***Waiver Requested. Two ground (pole) signs with EMC's are proposed.***
- The display screen area shall not exceed 50 percent of the sign cabinet.
  - ***Waiver Requested. Display screen with gas pricing exceeds 50 percent of the cabinet.***
- The sign cabinet and finished constructed base, excluding up to 22 square feet of the base, shall not exceed 360 square feet.
- Additional signage shall be permitted on the cabinet, not to exceed 15 percent of the sign cabinet size.
  - ***Waiver Requested. The "Wawa" identification logo exceeds 15 percent of the sign cabinet size.***
- Landscaping shall be provided in accordance with requirements in Section 6.10.J.7, Ground Signs.
- A sign with sign face on two sides and no more than 4.5 feet of separation between faces shall be considered a single sign and the total sign area shall be the area on a single face.
- Sign copy may change only at intervals of not less than 60 seconds. Continuous scrolling, animation, or flashing of lights is prohibited.
- Sign Graphics shall not be displayed at any time on the display screen area.
- The display screen area shall provide a high-resolution picture quality with pixel spacing of 16 millimeters or less.
- Maximum brightness is 5,000 nits during the day and 500 nits from dusk to dawn.
- A malfunctioning sign must be turned off or display a blank screen.
- Electronic message center signs shall not be added to, or used to change or expand, any nonconforming sign.
- The background of the display screen shall be limited to one single solid color.
- No off-site advertising is permitted.
- These criteria may be waived or altered by the City Commission in a Comprehensive Sign Plan, Planned Development Agreement, or Public or Semi-Public Use Permit.

## **Canopy Sign requirements per Section 6.10.J.7 and Table 6.10.K.2.A:**

- 2 sf per 1 ft of linear lot frontage

- No sign shall project over the roof edge to the building to which it is attached.
- Maximum height shall be 35 ft.

## Proposed Canopy Signage

- LED Illuminated routed canopy wall sign 9.02 sf
- Non Illuminated gas spanners 6.06 sf

***No Waiver Requested.***

## ARCHITECTURAL ELEVATIONS

Per Section 6.12(b)(i), the sides of buildings which are less than 200 feet wide shall comply with the following:

- Wall shall have changes of planes with a least a three-foot projection or recess no less than every 30 horizontal feet.

***Waiver requested. Front Elevation (Northeast) faces Nova Road:***

***Building jogs by 15'-3" at 22'-8" wide tower feature. One horizontal plane recessed by 23 inches. One horizontal plane exceeds 30 horizontal feet.***

***Waiver requested. Left Elevation (Southeast) faces Mason Ave.: Building jogs by 29'-5". Horizontal plane exceeds 30 feet.***

Per Section 6.12(h), roofs which are less than 200 feet wide shall have:

- Changes of planes with a least a three-foot projections, recess, ridge, or valley no less than every 30 feet.

***Waiver Requested. Front Elevation (Northeast) faces Nova Road- Roof has 2 changes of plane. One plane exceeds 30 feet.***

***Waiver requested. Left Elevation (Southeast) faces Mason Ave.: Roof has 1 change of plane. One plane exceeds 30 feet.***

Per Section 6.12(l), Building color should reinforce the style of the building.

- The color shall complement the design and not be so extreme that the color competes with the building for attention.
- Colors shall be earth tones or pastels having a minimum light reflectance value (LRV) of 70.
- Other colors may be permitted as accent not to exceed 20 percent of the serve area of any one elevation.

***Waiver requested. Front Elevation (Northeast) faces Nova Road: Harris Cream (Siding) = 58 LRV (30%), Meringue #3085 (Stucco) = 74 LRV (15%).***

***Waiver requested. Left Elevation (Southeast) faces Mason Ave. Harris Cream (Siding) = 58 LRV (48%), Meringue #3085 (Stucco) = 74 LRV (16%).***

Per Section 5.3(C), the canopy shall have:

- a minimum height of 14 feet above grade, as measured from the finished grade to the underside of the canopy, and a maximum height of 1/3 of the building width, or 18 feet.

***Waiver requested. Proposed canopy height does not fully comply. Highest point proposed is 21'-2.25" (to top of canopy).***

## **LANDSCAPING**

Per Section 6.4.C.2 Building Perimeters:

- General. Continuous landscape areas shall be located adjacent to all building perimeters. For parking garages and decks, the minimum landscape depth shall be ten feet. For all other buildings the minimum depth shall be five feet. The depth of the building perimeter landscape areas shall be measured clear of any building or roof overhangs.
- Walkways. Walkways not over six feet wide may be located adjacent and parallel to the building. The building perimeter landscape area shall be located adjacent to the outside of the walkway.

***Waiver requested. Proposed perimeter landscaping does not fully comply. Ornamental ground cover and shrubs are proposed along the length of the west building perimeter and a portion of the east perimeter only. Walkways exceed 6 ft in width.***

## Wawa-Holly Hill Plaza ~ PD Rezoning

---

### Proposed Benefits:

The subject property is a former service station that is currently vacant. The existing site improvements are outdated and run down due to years of vacancy and represent an undesirable use of the Nova/Mason corner.









Wawa North Orlando Avenue – Winter Park, FL



## **KCG Engineering – Wawa PD Rezoning Neighborhood Meeting** Meeting Summary

*Date:* May 30, 2017

*Location:* Midtown Cultural Center  
925 George W. Engram Blvd  
Daytona Beach, FL 32114

*Presenter:* Scott Stuart, KCG Engineering

*Attendee Names:* Tony Servance, Belinda McChea, Sandy Murphy, Anne Ruby, Linda Smiley, Ken Strickland, (Big John), Scott Kearney (Wawa), Emily Gentry (KCG)

---

**The meeting was advertised and posted. KCG received 4 phone calls prior to meeting and 2 after the meeting requesting additional information. All callers appeared excited about the proposed Wawa use and expressed support for the project. The Neighborhood Meeting was held at 6 pm on May 30, 2017. General discussion and introductions from 6:00 to approximately 6:20.**

Formal presentation began at 6:20 pm and after question and answers generally conclude around 7:40 pm with clean up until approximately 8:00 pm.

### **I. Applicant Presentation**

Introduction: The project we are here about tonight is the property at 1000 Mason Ave – the site of an existing / abandoned gas station. In the Aldi Shopping Center - Directly across the street from the new KFC about a mile north up the road from here.

We are proposing to redevelop the property and portions of the shopping center to construct a Wawa Neighborhood Market. In total the project area measures approx. 1.90 acres.

We have not made official application to city yet; however, the application will start with a rezoning to Planned Development, PD. The PD zoning is a custom overlay of sorts that allows for site specific characteristics and development standards to be negotiated between the applicant and the city for the best possible development. The proposed project includes demolition of the existing structures and infill redevelopment of a modern Wawa Neighborhood Market with gas sales.

The first Wawa Food Market opened in Pennsylvania in 1964. Today, Wawa remains a family owned business. Wawa started developing in Central Florida in July 2012. Recognized by the city of Orlando in 2013 with a Beautification Award, Wawa is proud to be recognized for its continued commitment to enhancing the community environment. As illustrated on the rendering, the site design includes extensive windows along the façade and dual frontage accessibility. These intentional site designs along with an average of 35-45 employees per store collectively provide a safe and clean environment for customers and employees.

Wawa often selects sites such as this one for infill redevelopment. The opportunity to be redeveloped in part to provide employment, support existing infrastructure system and enhance an otherwise underutilized part of the neighborhood. Within the vicinity of the subject property, is an established commercial corridor with various commercial developments. Our request for a Wawa would be compatible with the established land use patterns and redevelopment trend along the corridor.

We have engaged a traffic consultant but we feel strongly that the proposed access configuration (refer to site plan) will serve the demands of a Wawa store while avoiding potential traffic conflicts on the existing roadway network

In summary, The proposed PD rezoning is consistent and compatible with the commercial development pattern along the corridor and the intended Wawa Neighborhood Market use provides a logical, cohesive and efficient development opportunity for the subject property consistent with the intent of a quality infill redevelopment project for the city of Daytona Beach.

## II. Attendee Comments

### A. General Questions

#### 1. Wawa Corporation

Q: Numerous questions about Wawa site selection and activity across the state.

*A: Wawa representative discussed Wawa development activity in the region and general practices.*

#### 2. Wawa Employment Benefits and Structure

Q: Numerous questions about part-time and full-time employment with Wawa and benefits.

*A: Wawa representative gave an explanation of Wawa employment structure and benefits.*

### 3. Community Involvement

Q: Numerous questions about Wawa's contribution to the community and local charities.

*A: Wawa representative discussed Wawa extensive community involvement, partnerships and contributions to charitable programs.*

### B. Site Specific Questions

Q: Numerous questions about site layout.

*A: Referred to site plan for full explanation of proposed site design.*

Q: Asked about environmental/contamination issues on the site.

*A: Explained we are aware of environmental/contamination issues on the site and will coordinate with the FDEP to resolve any issues after the PD rezoning process.*

Q: Asked if the Wawa development would be completed in 2018.

*A: Explained the timeline is speculative at this point, but we hope to complete the project in 2018.*

Q: Asked whether Wawa is buying or leasing the land.

*A: Wawa representative replied that Wawa plans to lease the land.*

Q: Asked whether the applicant/developer is receiving incentives from the city.

*A: Replied that we are not receiving incentives from the city.*

**III. Closing Remarks – Thanks for the quality questions and interest in the project. General consensus from those in attendance was favorable and in support of the project.**