

## Agenda Item 6 (Quasi-Judicial Hearing)

### Rezoning - Planned Development-General

DEV2016-129

Daytona Mitsubishi PD

## STAFF REPORT

**DATE:** July 20, 2017

**TO:** Planning Board Members

**FROM:** Dennis Mrozek, AICP, Planning Manager

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### PROJECT REQUEST

A request by Mark Dowst, Mark Dowst & Associates, Inc., on behalf of Richard Nisbett, Triple Diamond Real Estate, LLC, to rezone 4.3± acres of land located at 900 N. Nova Road from Residential/Professional (RP) and Business Automotive (BA) to Planned Development-General (PD-G) to allow for an automotive dealership.

### PROJECT LOCATION

The subject site is located at the northwest corner of Nova Road and Brentwood Drive. The property had been previously development and includes an existing building on site (previously AT&T Building). The site is currently zoned RP (Residential Professional) and BA (Business Automotive) and has the current future land use designation of Retail. Adjacent land uses and zoning classifications are illustrated in the following table and are also shown in the accompanying maps.

**Table 1: Land Use and Zoning**

	<b>Existing Uses</b>	<b>Existing Future Land Use Designation</b>	<b>Existing Zoning Classification</b>
<b>Site</b>	Developed & Vacant	Retail	RP (Residential Professional) & BA (Business Automotive)
<b>North</b>	Auto Dealership	Retail	RP (Residential Professional) & BA (Business Automotive)
<b>South</b>	Retail	Retail	BR-2 (Business Retail-2)
<b>East</b>	Auto Dealership	Retail	BA (Business Automotive)
<b>West</b>	Auto Dealership	Retail	RP (Residential Professional)



*Subject property facing north from Brentwood Drive*



*Subject property facing west from Nova Road*

## **PROJECT DESCRIPTION**

The applicant is requesting to rezone this property to Planned Development-General to allow for the redevelopment of the existing site for an automotive dealership use and associated site improvements. The initial phase of the development plan includes modifying the existing two-story office building, which has been vacant for over two years, to allow for automotive sales & service and related uses. The proposed development plan also includes a carwash/lube/detail building at the rear of the property in a second phase.

### ***GENERAL PLANNED DEVELOPMENT DISTRICT PURPOSES***

*The Planned Development (PD) districts are established and intended to encourage innovative land planning and site design concepts that support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and other City goals and objectives by:*

- a. Reducing or diminishing the inflexibility or uniform design that sometimes results from strict application of zoning and development standards designed primarily for individual lots;*
- b. Allowing greater freedom in selecting the means of providing access, open space, and design amenities;*
- c. Allowing greater freedom in providing a well-integrated mix of residential and nonresidential land uses in the same development, including a mix of housing types, lot sizes, and densities;*

- d. Providing for efficient use of land resulting in smaller networks of utilities and streets and thereby lowering development and housing costs; and*
- e. Promoting quality design and environmentally sensitive development that respects surrounding established land use character and respects and takes advantage of a site's natural and man-made features, such as trees, wetlands, surface waters, floodplains, and historic features.*

## **PROJECT ANALYSIS**

Review of and the decision on a Planned Development application shall be based on compliance of the proposed zoning reclassification and PD Plan/Agreement with the review standards in Section 3.4.D.3, Site-Specific Zoning District Map Amendment Review Standards, and the standards for the proposed type of PD district in Section 4.8, Planned Development Zoning Districts.

### **Site-Specific Zoning District Map Amendment Review Standards**

In determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment, the City shall consider:

**a. Whether the applicant has provided, as part of the record of the public hearing on the application, competent substantial evidence that the proposed amendment:**

**i. Is consistent with and furthers the goals, objectives, and policies of the comprehensive plan and all other applicable City-adopted plans;**

The property included in the PD Rezoning application has the comprehensive plan land use designations of Retail, which anticipates and allows the proposed uses on the site. The proposed land use designation can support the proposed uses on the site and proposed development standards are consistent with the Comprehensive Plan.

**ii. Is not in conflict with any portion of this Code;**

Development standards for a PD District must comply with the development standards of Article 6: Development Standards and Article 7: Subdivision Standards or any modifications of those standards established in the PD Plan/Agreement (*Attachment A*). The applicant has proposed modifications to these standards shown below, which is detailed later in this report. Approval of the PD rezoning application with the proposed modifications would not be in conflict with any portions of the LDC if approved by the City Commission.

1. Landscaping

- a. Section 6.4.C.2 (Building perimeters) – Modification to allow a reduction in the minimum building perimeter landscape requirement.
- b. Section 6.4.D.2 (Property perimeters) – Modification to allow a reduction in minimum width of landscaping for property perimeter.
- c. Section 4.9.D – (Scenic Thoroughfare Overlay) – Modification to required material counts in required STO buffer.

2. Section 6.10 (Signage) – Modification to Business District sign standard to allow a larger monument sign than permitted.

3. Section 6.12 – (Building Design Standards) – Modification to minimum building design standard for development along major City thoroughfare (Nova Rd.).

**iii. Addresses a demonstrated community need;**

The applicant has provided a Modification/Benefit letter that details public benefits and addresses the standard for a demonstrated community need (*Attachment B*). A summary from the project architect is also included, which details building features and LDC modifications requested.

**iv. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;**

The proposed use of the property is compatible with the surrounding existing uses. The subject property is adjacent to an auto dealership use to the north, west and east (across Nova Road), and there are existing commercial uses to the south (across Brentwood Drive). The proposed automobile sales and service uses are compatible with the surrounding uses in the area.

**v. Would result in a logical and orderly development pattern;**

Because the site has been previously developed, the applicant has requested modifications to current LDC development standards to allow for the redevelopment of the site. These modifications include changes to minimum landscaping and building design standards. Remaining standards established in the PD Agreement and the LDC are expected to result in a logical and orderly development pattern for the subject property.

**vi. Would not adversely affect the property values in the area;**

Staff does not have any indication the proposed development would have an adverse effect on the property values in the area.

**vii. Would result in development that is adequately served by public facilities (roads, potable water, wastewater, solid waste, storm water, schools, parks, police, and fire and emergency medical facilities); and**

The PD Agreement acknowledges rezoning approval does not constitute a Concurrency Certificate. During the site plan review process for the development, the applicant will be required to separately obtain a Concurrency Certificate, where required.

An on-site stormwater retention facility will be constructed in conjunction with the development. The stormwater retention facility will be maintained at a level consistent with the standards of the St. Johns River Water Management District. Collection and transmission facilities shall be located pursuant to the approved site plan, or site plans approved for individual lots or structures.

Staff has reviewed the requested development for impacts to public facilities and offers no objection to the proposed uses or development plan.

**viii. Would not result in significantly adverse impacts on the natural environment including, but not limited to, water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and**

Staff does not anticipate any adverse environmental impacts with the approval of this request.

**b. If the applicant demonstrates that the proposed amendment meets the criteria in subparagraph [a] above, whether the current zoning district designation accomplishes a legitimate public purpose.**

Automobile uses are permitted in the portion of the site that is currently zoned BA, but is not permitted in the portion of the site currently zoned RP. The rezoning of the property is required to allow the proposed uses on the entire site.

**Planned Development Zoning Districts Review Standards**

Before approving a PD zoning district classification, the City Commission shall find the application for the PD zoning district, as well as the PD Plan/Agreement included as part of the application, comply with the following standards:

**1. PD Plan/Agreement**

The PD Plan/Agreement includes a development plan for the subject site. This includes identification of proposed vehicle access points, development area, parking areas, common areas, landscaping and site improvements.

**Signage**

Signage for the Planned Development shall be permitted as provided in the Sign Plan (*Attachment C*) and the standards established in the PD Agreement. These standards include:

**A. Ground Signs:**

- One ground sign located on Nova Road consisting of a 10’10” wide x 12’8” high cabinet (137.2 sf) on a 17’4” base with a total overall height of 30’ (shown).
- One ground sign located on Brentwood Drive consisting of a 8’9 13/16” wide x 7’ 4 7/16” high cabinet (64.98 sf) with a support pole and has a total overall height of 35’.

**B. Wall Signs:**

- 14’10” wide x 4’0” high wall sign (59.3 sf)
- 17’4” wide x 4’0” high wall sign (69.3 sf)
- 9’4” wide x 3’0” high canopy sign (28 sf)
- 5’5” wide x 4’7” high wall sign (24.8 sf)
- 6’6” wide x 2’0” high wall sign (13 sf)

**C. Directional Signs:**

- Two 4’3” wide x 1’9” high panels on support posts with an overall height of 4’0”.



The applicant has requested a modification to the maximum height of the proposed monument sign fronting Nova Road (shown above). The LDC restricts heights of monument signs to 8 feet. The applicant has requested a height of 30 feet.

### Landscaping

Landscaping shall be provided consistent with the PD Landscape Plan found in Attachment A. The applicant has requested three modifications to the minimum landscape standards in the LDC. The modifications are requested to accommodate existing, mature trees on site and to allow for maximum use of the existing developed site. Modifications to LDC landscape standards include:

- Replace required five foot landscape strip around building perimeter with enlarged landscape areas in some areas and wider decorative paver areas in other locations. The use of wider pedestrian areas is intended to accommodate pedestrian use of the automotive sales site.
- Reduce minimum property perimeter landscape strip along Brentwood Drive from eight feet to as narrow as 5.5 feet. This is an existing condition on the site and allows current parking to remain as designed. Required minimum LDC landscape material counts will be met.
- Incorporate two existing Live Oaks (29” and 24”) into the scenic thoroughfare buffer landscape design by reducing the number of required shade trees. Additional small trees are provided to prevent overcrowding of current, mature trees in the buffer.

Any landscape issue not addressed by the PD Landscape Plan shall be compliant with the LDC landscape provisions. Final review of landscaping shall be addressed at site plan approval.

### Building Design

The applicant has provided building elevations as part of the PD rezoning application (*Attachment D*). A summary of the building design elements has also been provided from the project’s architect which details how the building meets, or doesn’t meet, required standards in the LDC (*Attachment B*). Because the building is existing, certain building design elements have not been met. These include change in planes for building walls and roof line. These modifications to the minimum design standards have been request by the applicant.

### **2. Consistency with City Plans**

If adopted by the City Commission, the PD zoning district designation and the PD Plan/Agreement will be consistent with the comprehensive plan.

### **3. Compatibility with Surrounding Areas**

The proposed development plan meets compatibility standards for the property perimeters. The applicant has conducted a neighborhood meeting, as required by the LDC. A summary of the neighborhood meeting prepared by the applicant is attached (*Attachment E*).

### **4. Development Phasing Plan**

An application shall be submitted for all construction permits for the first phase of the development within 18 months of the approval of the PD Agreement by the City Commission. Construction of phase one shall be substantially complete within 5 years of the approval of this Agreement. Construction of the carwash/detail/lube building (phase two) is required within 10 years of the approval of the PD Agreement.

### **5. Conversion Schedule**

Not applicable.

**6. On-Site Public Facilities**

No onsite public facilities are proposed.

**7. Uses**

The PD Agreement identifies the following permitted uses for the subject property:

- Automobile sales and service
- Automobile parts sales and installation
- Car wash
- Sales and rental of light vehicles and light recreation vehicles
- Tire sales and mounting
- Business services offices

**8. Densities/Intensities**

Maximum Density: 3 FAR (based on current Retail land use)

**9. Dimensional Standards**

Maximum building height: 35 ft.

Minimum setbacks

Side yard setback: 7.5 ft.

Front yard setback: 25 ft.

Rear yard setback: 25 ft.

Minimum open space: 20%

Maximum impervious surface area: 80%

Maximum building coverage: 35%

Slopes within any dry retention pond(s) shall be 4:1 without a fence

Dry retention pond(s) shall count toward open space requirements

**10. Development Standards**

All development in a PD district shall comply with the development standards of Article 6: Development Standards, and Article 7: Subdivision Standards, or any modifications of those standards established in the PD Plan/Agreement as consistent with City plans, the objective of the particular type of development standard, the purpose of the particular PD district, and any additional limitations or requirements set forth in Sections 4.8.C and 4.8.D for the particular type of PD district.

**Proposed Modifications**

1. Landscaping
  - a. Section 6.4.C.2 (Building perimeters) – Modification to allow a reduction in the minimum building perimeter landscape requirement.
  - b. Section 6.4.D.2 (Property perimeters) – Modification to allow a reduction in minimum width of landscaping for property perimeter.
  - c. Section 4.9.D – (Scenic Thoroughfare Overlay) – Modification to required material counts in required STO buffer.
2. Section 6.10 (Signage) – Modification to Business District sign standard to allow a larger monument sign than permitted.
3. Section 6.12 – (Building Design Standards) – Modification to minimum building design standard for development along major City thoroughfare (Nova Rd.).

**RECOMMENDATION**

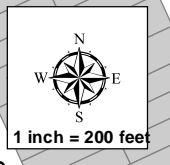
Should all LDC modification requested be approved, staff concludes the application to rezone 4.3± acres of land located at 900 N. Nova Road from Residential/Professional (RP) and Business Automotive (BA) to Planned Development-General (PD-G) to allow for an automotive dealership be approved.

The item is tentatively scheduled to be heard by the City Commission for first reading on September 6, 2017 and for second reading on September 20 (public hearing).

A majority vote of the Planning Board members present and voting are required to recommend approval to the City Commission.



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**DEV2016-129  
PLANNED DEVELOPMENT GENERAL REZONING  
LOCATION MAP**

City of Daytona Beach Map disclaimer:  
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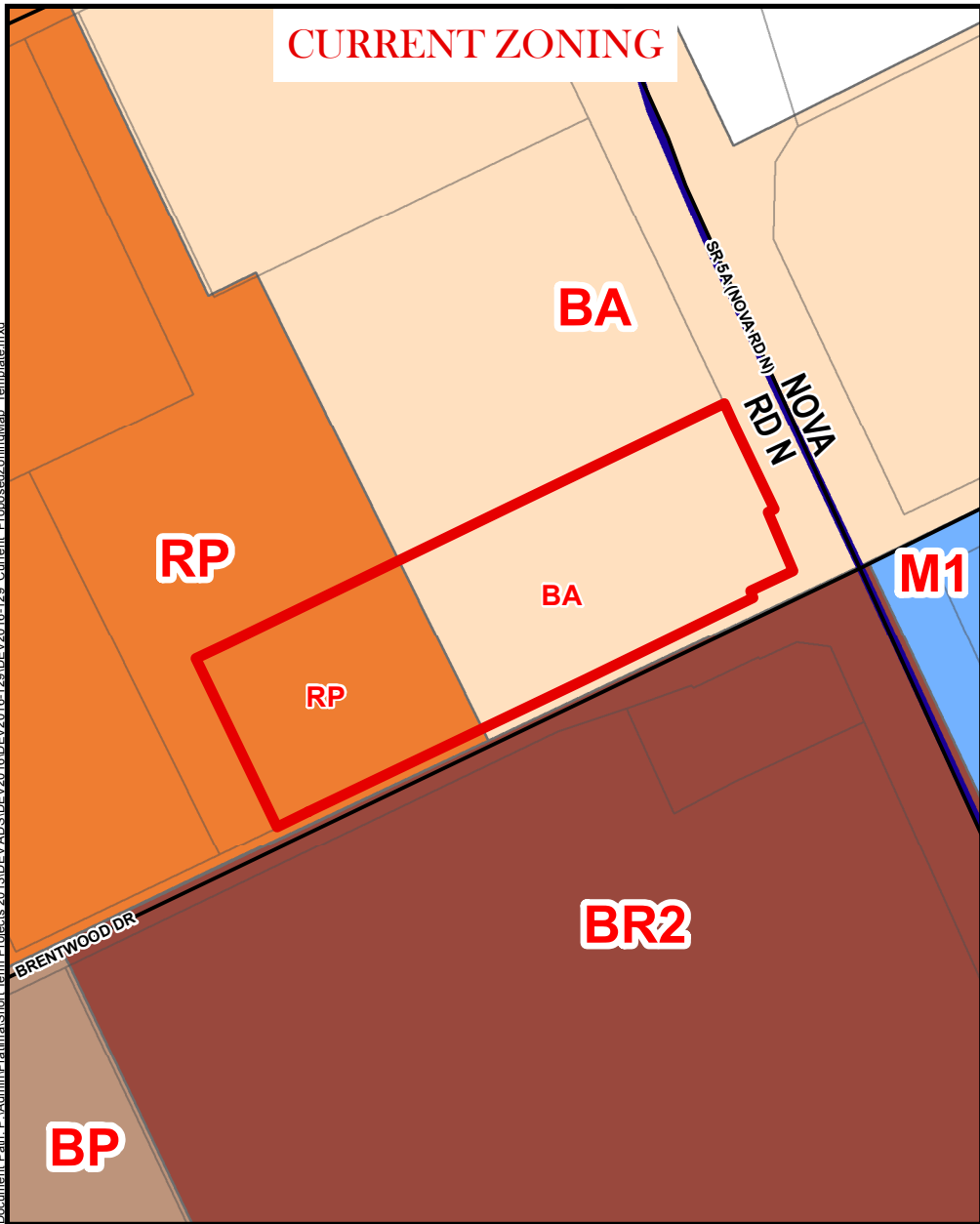
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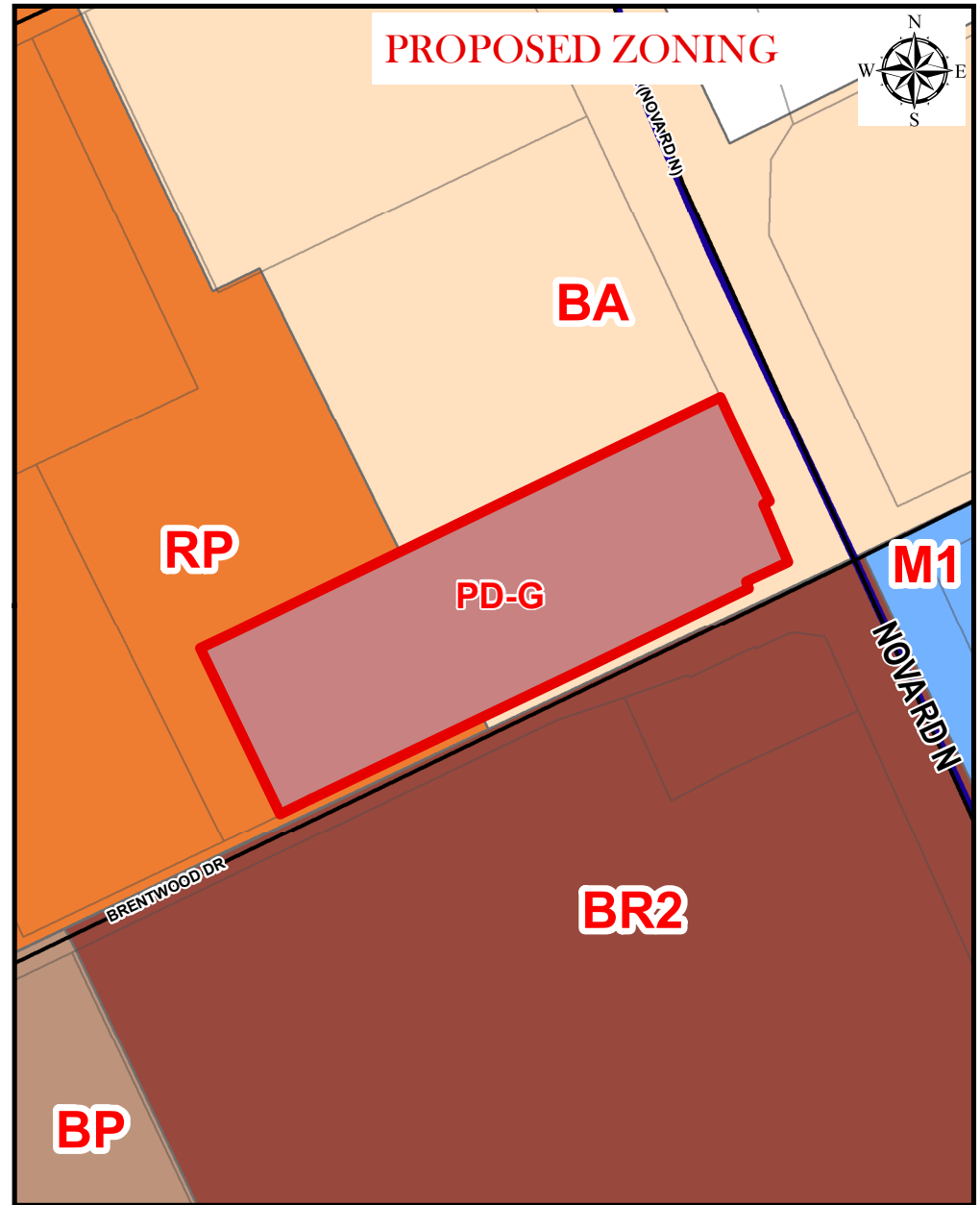
# DEV2016-129 PLANNED DEVELOPMENT GENERAL REZONING AERIAL MAP

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# CURRENT ZONING



# PROPOSED ZONING



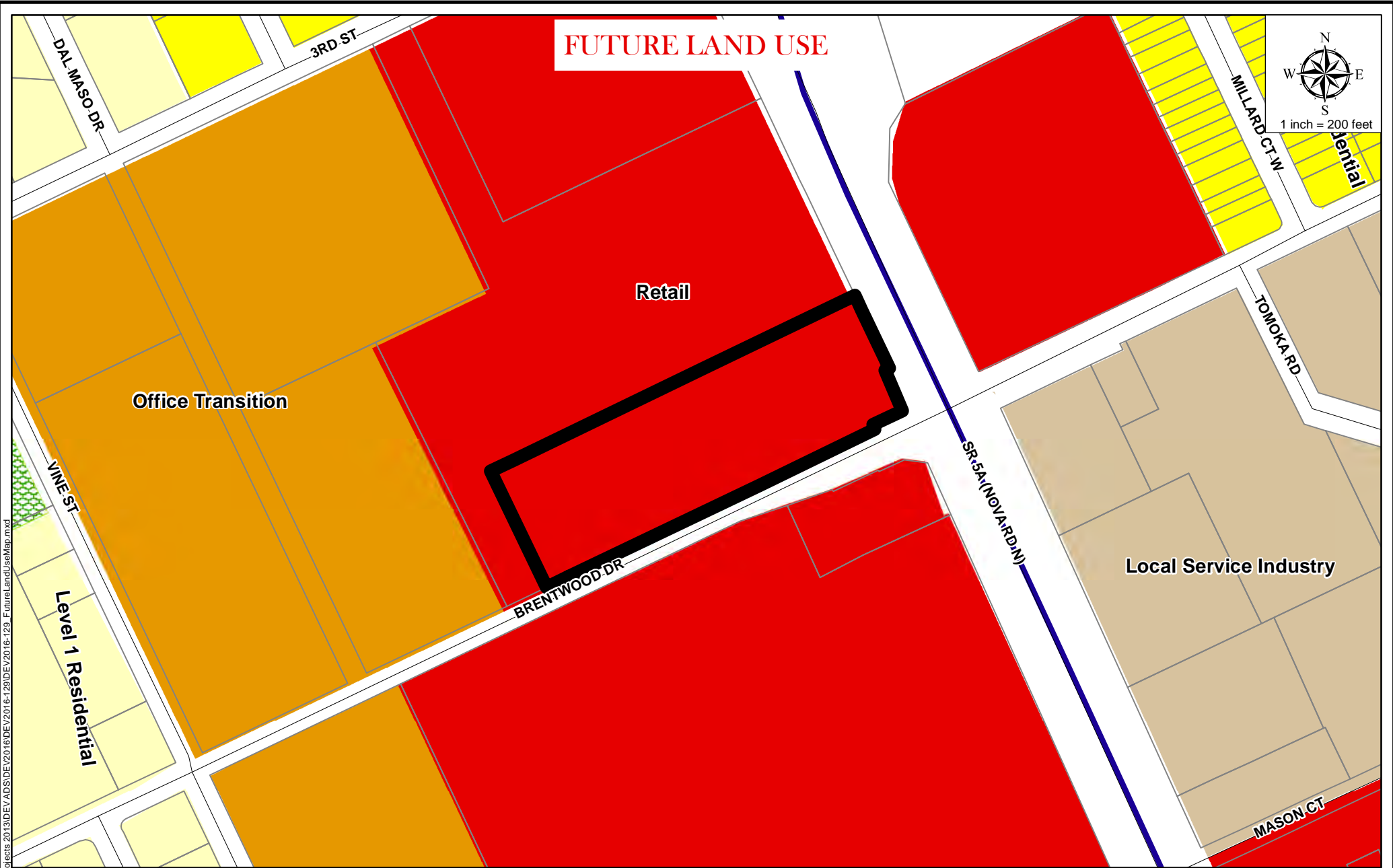
1 inch = 200 feet

1 inch = 200 feet

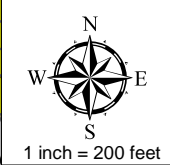


## DEV2016-129 PLANNED DEVELOPMENT GENERAL REZONING CURRENT & PROPOSED ZONING MAP





**FUTURE LAND USE**



**Retail**

**Office Transition**

**Local Service Industry**

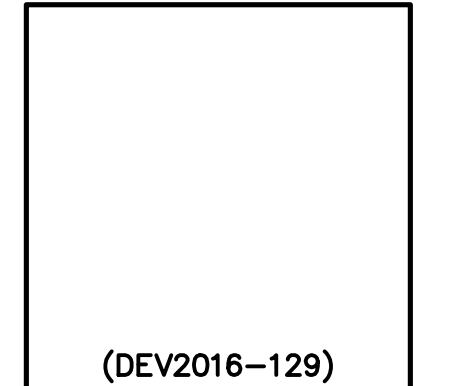
**Level 1 Residential**

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**DEV2016-129  
PLANNED DEVELOPMENT GENERAL REZONING  
FUTURE LAND USE MAP**

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# PLANNED DEVELOPMENT GENERAL (PD-G) PLAN FOR DAYTONA MITSUBISHI DAYTONA BEACH, FLORIDA FEBRUARY 2017

PREPARED BY:

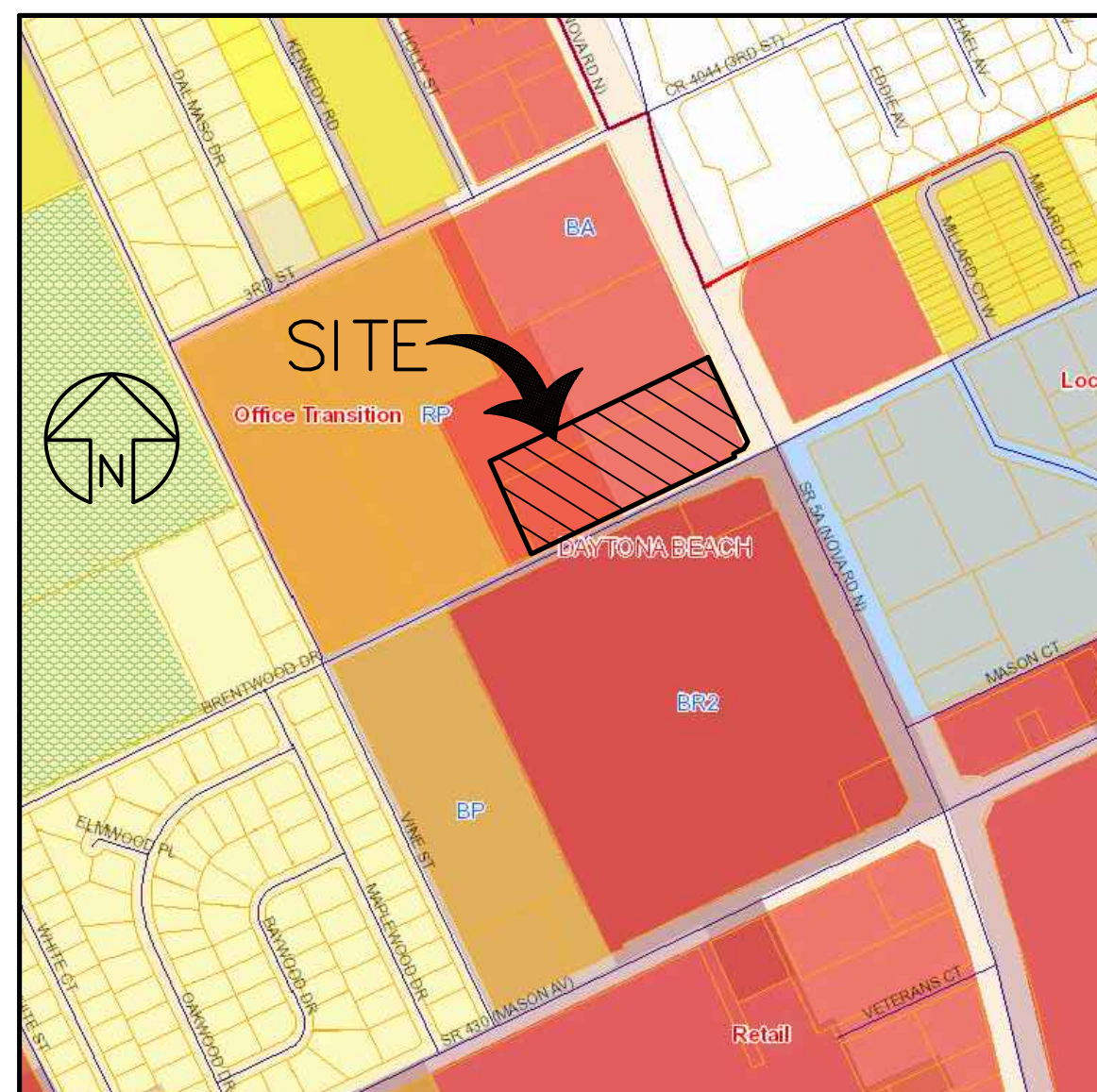


**INTENDED USE STATEMENT**

AUTOMOTIVE SALES AND SERVICE

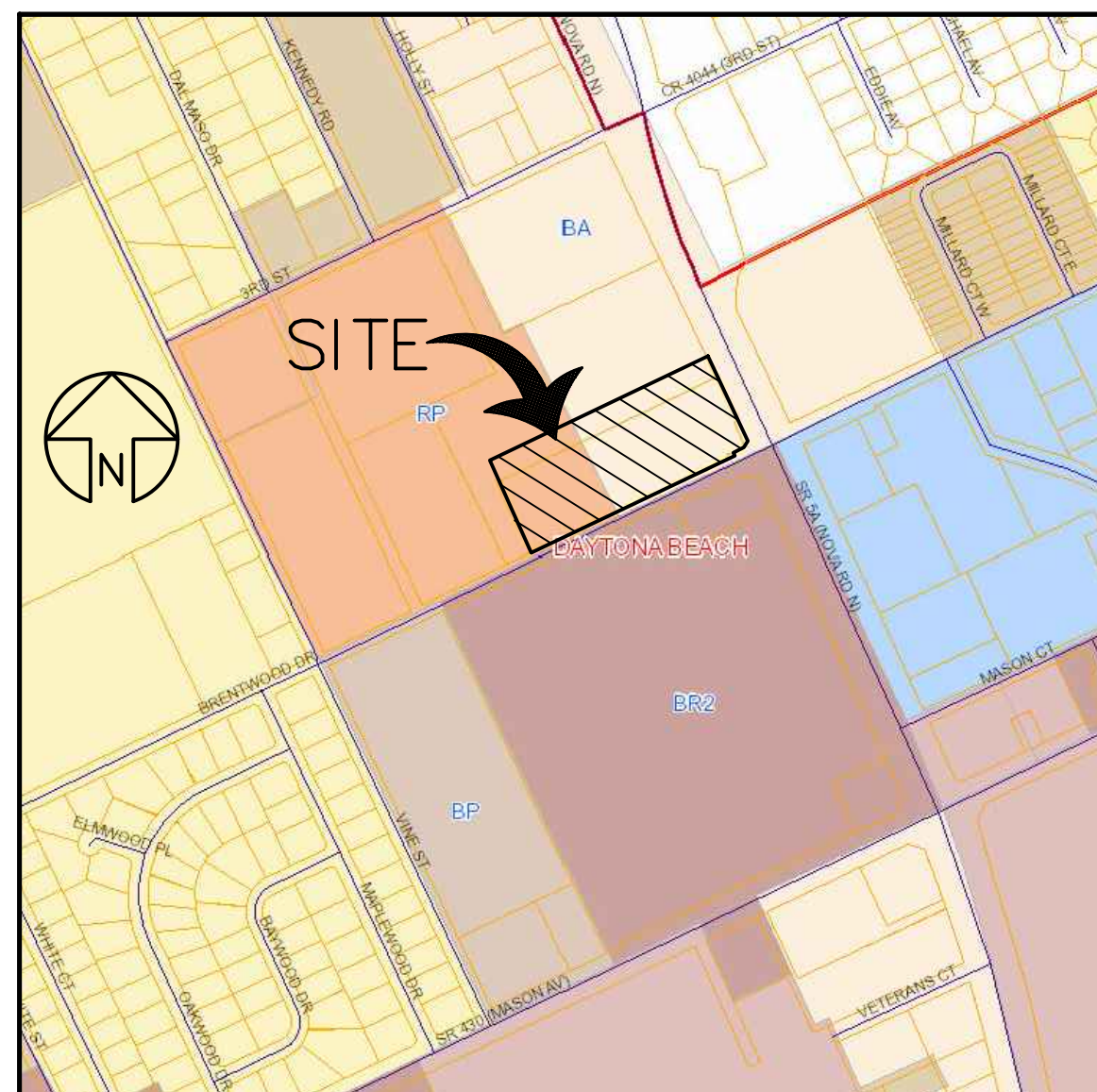
**LAND USE MAP**

SCALE: 1" = 500'



**ZONING MAP**

SCALE: 1" = 500'



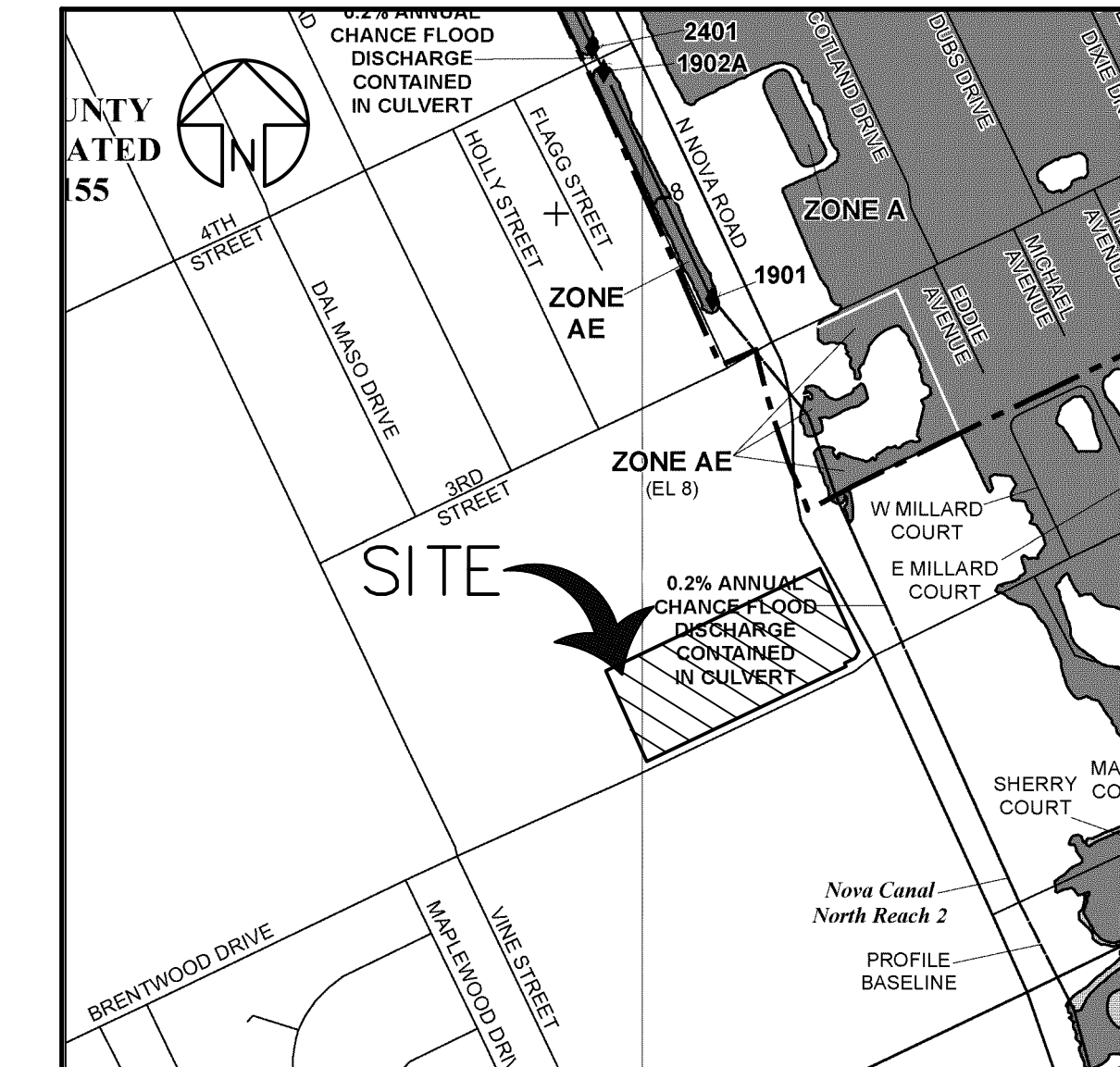
**LEGAL DESCRIPTION**

A PORTION OF LOTS 6, 7, 8, AND 9, BLOCK 24, OF HOME ACRES, UNIT #2, OF RECORD IN MAP BOOK 8, PAGE 103, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA, AND THAT PORTION OF LOTS 5 AND 6, MASON AND CARSWELL'S SUBDIVISION IN HOLLY HILL, OF RECORD IN MAP BOOK 2, PAGE 90, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA DESCRIBED AS FOLLOWS: AS A POINT OF REFERENCE, COMMENCE AT A POINT IN THE WESTERLY LINE OF NOVA ROAD AS NOW LAID OUT, BEING STATE ROAD 5-A, SAID POINT BEING A DISTANCE OF 25 FEET NORTHERLY OF THE INTERSECTION OF SAID LINE WITH THE CENTERLINE OF BRENTWOOD AVENUE; THENCE S 64°25'56" W A DISTANCE OF 50 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE S 64°25'56" W ALONG THE NORTHERLY RIGHT OF WAY OF SAID BRENTWOOD AVENUE, A 50 FOOT RIGHT OF WAY AS NOW LAID OUT, A DISTANCE OF 621.77 FEET; THENCE N 24°38'57"W, DEPARTING SAID NORTHERLY RIGHT OF WAY, A DISTANCE OF 280.10 FEET; THENCE N 64°25'56" E A DISTANCE OF 667.00 FEET TO A POINT IN THE WESTERLY RIGHT OF WAY OF NOVA ROAD (STATE ROAD 5-A); THENCE S25°36'12" E ALONG SAID WESTERLY RIGHT OF WAY A DISTANCE OF 257.78 FEET; THENCE S28°42'38" W A DISTANCE OF 20.93 FEET; THENCE S 64°25'56" W, PARALLEL TO THE NORTHERLY RIGHT OF WAY OF SAID BRENTWOOD DRIVE, A DISTANCE OF 32.96 FEET; THENCE S 25°34'04" E A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING.

EXCEPT ANY PORTION THAT LIES WITHIN NOVA ROAD AND BRENTWOOD AVENUE.

**FLOOD MAP**

SCALE: 1" = 500'



**SHEET INDEX**

No.	DESCRIPTION
C1	COVER SHEET
C2	EXISTING SITE CONDITIONS
C3	OVERALL DEVELOPMENT PLAN
C4	STORMWATER PLAN
C5	UTILITY PLAN
S-1	PROPERTY SURVEY
LA-0	TREE PROTECTION / REMOVAL PLAN
LA-1	LANDSCAPE PLAN
LA-2	LANDSCAPE DETAILS

**OWNER**

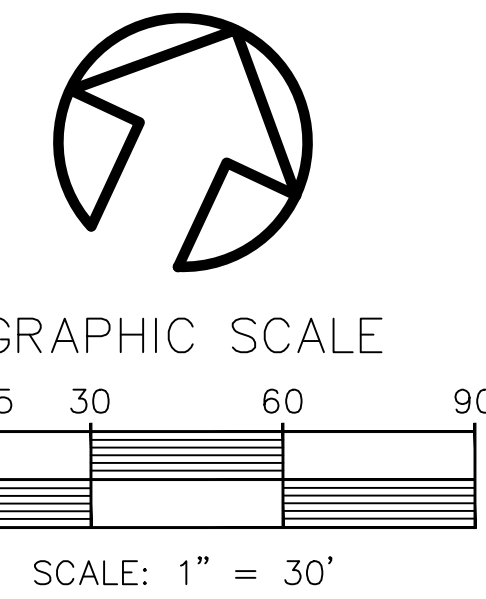
TRIPLE DIAMOND REAL ESTATE LLC  
RICHARD NISBETT, MANAGING MEMBER  
510 NORTH NOVA ROAD  
DAYTONA BEACH, FLORIDA 32114  
PHONE: (386) 233-5318  
E-MAIL: richardnisbett@bellsouth.net

**ENGINEER AND SURVEYOR**

MARK DOWST AND ASSOCIATES, INC.  
536 N. HALIFAX AVENUE, SUITE 100  
DAYTONA BEACH, FLORIDA 32118  
PHONE: (386) 258-7999 FAX: (386) 257-4310  
E-MAIL: mdowst@mdaeng.com

SITE ADDRESS: 900 N. NOVA ROAD  
TAX PARCEL No. 44-14-32-01-30-0052

NOTE:  
NO CONSTRUCTION ON THE PROPOSED PORTIONS OF THIS PROJECT MAY COMMENCE UNTIL A MANDATORY PRE-CONSTRUCTION MEETING IS HELD WITH THE CITY, AS STATED IN THE APPROVED DEVELOPMENT ORDER FROM THE CITY OF DAYTONA BEACH. ANY CESSATION OF CONTINUOUS ON-GOING CONSTRUCTION ON THIS PROJECT OF 90 DAYS OR MORE SHALL TRIGGER A REQUIREMENT FOR ANOTHER PRE-CONSTRUCTION MEETING BE HELD WITH THE CITY PRIOR TO CONTINUATION OF THE CONTINUING CONSTRUCTION.



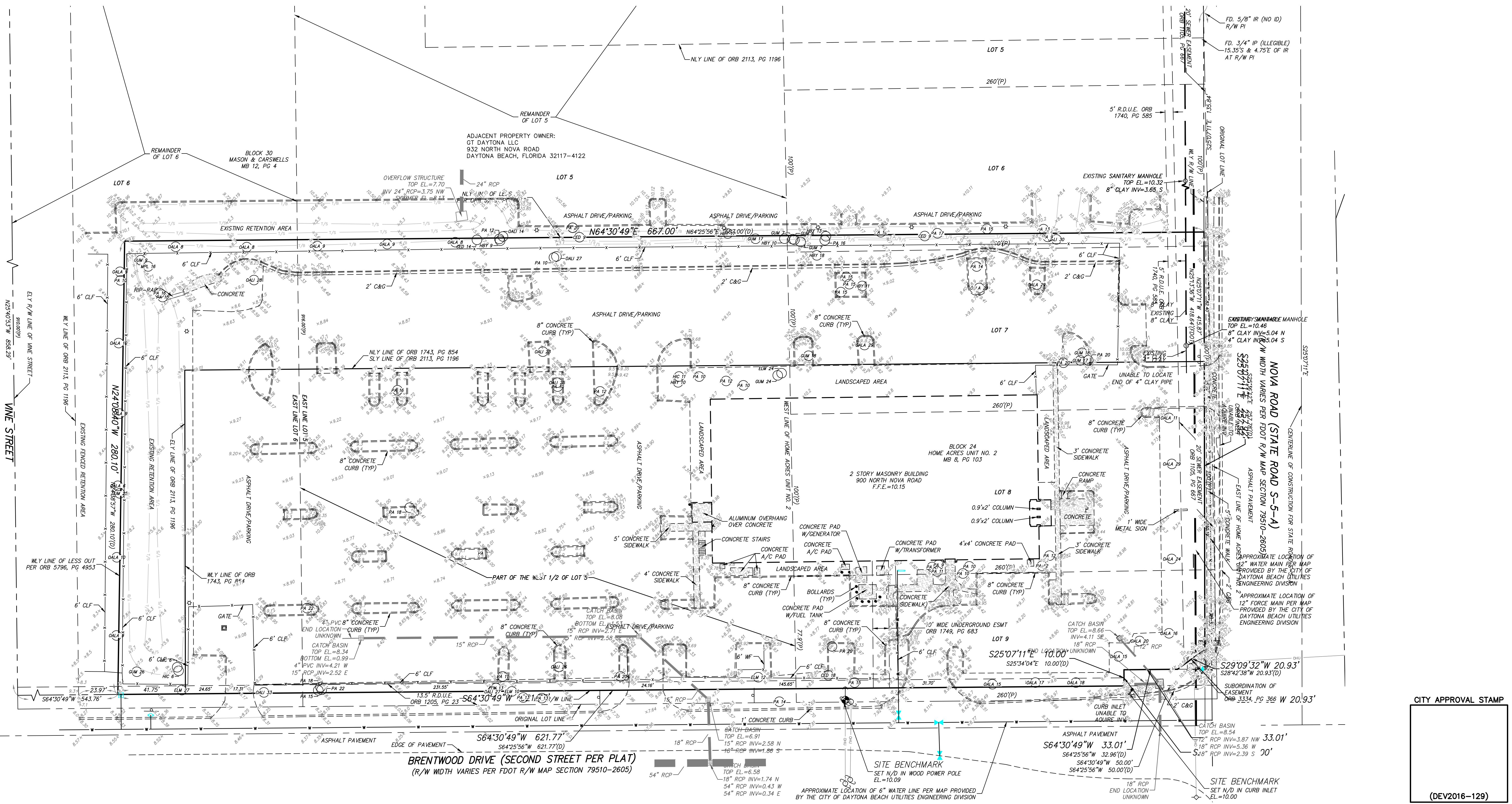
LEGEND AND ABBREVIATIONS:

±	MORE OR LESS	HWF	HOG-WIRE FENCE	P.O.C.	POINT OF COMMENCEMENT
AC	ACRES	ID	INVERT ELEVATION	PRC	POINT OF REVERSE CURVATURE
A/C	AIR CONDITIONER	IP	IRON PIPE	PRM	PERMANENT REFERENCE MONUMENT
ADS	ADVANCE DRAINAGE SYSTEM PIPE	IPC	IRON PIPE & CAP	PSM	PROFESSIONAL SURVEYOR MAPPER
ASPH	ASPHALT PAVEMENT	IR	IRON ROD	PT	POINT OF TANGENCY
BWF	BARBED-WIRE FENCE	IRC	IRON ROD & CAP	PVC	POLYVINYL CHLORIDE PIPE
(C)	CALCULATED	L	ARC LENGTH	R	RADIUS
C&G	CURB & GUTTER	LB	LICENSED BUSINESS	(R)	RADIAL
CB	CHORD BEARING	M.B.	MAP BOOK	R.O.U.E.	R/W DRAINAGE & UTILITY EASEMENT
CH	CHORD DISTANCE	MES	METERED END SECTION	R/W	RIGHT OF WAY
CL	CENTER LINE	NAD 83	NORTH AMERICAN DATUM OF 1983	RCP	REINFORCED CONCRETE PIPE
CLF	CHAIN-LINK FENCE	NGS	NATIONAL GEODETIC SURVEY	REC	RECOVERED
CM	CONCRETE MONUMENT	N/D	NORTH	SEC	SECTION-TOWNSHIP-RANGE
OMP	CORRUGATED METAL PIPE	N/D	NORTHERLY	S.F.	SQUARE FEET
CONC	CONCRETE	N/D	NORTHERLY	SOF	SPLIT RAIL FENCE
CTV	CABLE TELEVISION	N/D	NORTH	T/B	TYPICAL
(D)	DEED PER ORB 5796, PG 4946 & 4953	NO.	NUMBER	T/S	APPROXIMATE TOE OF SLOPE
D.B.	DEED BOOK	(NR)	NON-RADIAL	TBM	TEMPORARY BENCH MARK
D.E.	DRAINAGE EASEMENT	(OR)	OFFICIAL RECORDS BOOK	U/E	UTILITY EASEMENT
EL	ELEVATION	OHU	OVER-HEAD UTILITIES	U/E (TYP)	TYPICAL
ELEC	ELECTRIC	(P)	PER PLAT	WF	WOOD FENCE
ESMT	EASEMENT	P.B.	PLAT BOOK	WLY	WESTERLY
E/P	EDGE OF PAVEMENT	PC	POINT OF CURVATURE	WPF	WOOD PRIVACY FENCE
E/W	APPROXIMATE EDGE OF WATER	PCC	POINT OF COMPOUND CURVATURE	W/	WITH
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	PCM	POURED CONCRETE MONUMENT	WV	WATER VALVE
FTE	FINISHED FLOOR	PCP	PERMANENT CONTROL POINT	WV	IRRIGATION CONTROL VALVE
FIRM	FLOOD (FLORIDA) INSURANCE RATE MAP	PG(S)	PAGE/PAGES	WV	SANITARY SEWER VALVE
FNC	FENCE	PI	POINT OF INTERSECTION	WV	CLEAN OUT
FD	FOUND	PL	PROPERTY LINE	WV	GAS VALVE
GPS	GLOBAL POSITIONING SYSTEM	PLS	PROFESSIONAL LAND SURVEYOR	WV	WATER SPOGOT
HDPE	HIGH DENSITY POLYETHYLENE PIPE	P.O.B.	POINT OF BEGINNING	WV	BACK FLOW PREVENTOR

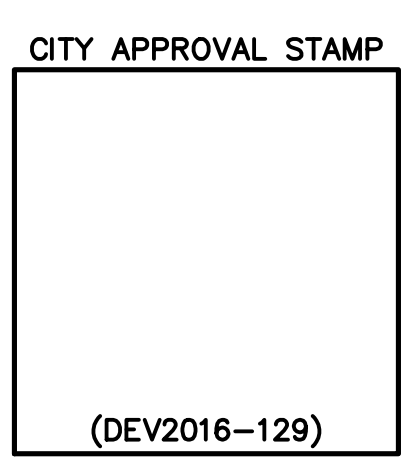
○	FIRE HYDRANT	□	WIRE PULL BOX
○	FIRE PUG/CONNECTION	□	TRAFFIC SIGNAL BOX
○	FLAG POLE	□	UTILITY VAULT
○	MAIL BOX	□	ELECTRICAL TRANSFORMER
○	HAND-CAP PARKING	□	WOOD UTILITY POLE
○	SATELLITE DISH	□	CONCRETE UTILITY POLE
○	DOUBLE POLE SIGN	□	METAL UTILITY POLE
○	BOLLARD	□	GUY POLE
○	CENTRAL ANCHOR	□	TRAFFIC SIGNAL POLE
○	BREAK LINE	□	LIGHT POLE
○	SET 4"x4" CM (LB 4335)	□	FLOOD LIGHT
○	FOUND 4"x4" CM (AS NOTED)	□	GUTTER INLET/GRATE
○	SET N/D (LB 4335)	□	CATCH BASIN/YARD DRAIN
○	FOUND N/D (AS NOTED)	□	STORM MANHOLE
○	SET 3/8" IRC (LB 4335)	□	ELECTRIC METER
○	FOUND 3/8" IRC (AS NOTED)	□	GREASE TRAP
○	FOUND IRON ROD (AS NOTED)	□	SANITARY MANHOLE
○	FOUND RAIL ROAD SPIKE (AS NOTED)	□	TELEPHONE MANHOLE
○	FOUND "X" CUT	□	UNKNOWN MANHOLE
○	AIR CONDITIONER	□	MONITORING WELL
○	CABLE TELEVISION RISER BOX	□	WELL
○	ELECTRIC PANEL	□	FIBER-OPTIC CABLE MARKER
○	ELECTRIC METER	□	GAS LINE MARKER
○	ELECTRIC JUNCTION BOX	□	METERED END SECTION
○	GAS METER	□	WETLAND FLAG
○	KEY PAD	□	BENCHMARK (AS NOTED)
○	RECLAIMED WATER METER	□	BORING LOCATION
○	TELEPHONE RISER BOX		
○	UTILITY RISER BOX		
○	WATER METER		

TREE LEGEND AND ABBREVIATIONS:

○	CEC #	CELTIC TREE-SIZE IN INCHES
○	ELM #	ELM TREE-SIZE IN INCHES
○	GUM #	SWEETGUM TREE-SIZE IN INCHES
○	HYB #	HACKBERRY TREE-SIZE IN INCHES
○	HIC #	HICKORY TREE-SIZE IN INCHES
○	MPL #	MAPLE TREE-SIZE IN INCHES
○	OAL #	LAUREL OAK TREE-SIZE IN INCHES
○	OAL #	LIVE OAK TREE-SIZE IN INCHES
○	PA #	PALM TREE-SIZE IN INCHES



REVISION		NO.	DATE	APPR.	DATE	BY	REVISION
1			06-21-17	MSD			REVISED PER CITY COMMENTS
<p><b>MARK DOWST &amp; ASSOCIATES, INC.</b>          ENGINEERS * PLANNERS * SURVEYORS          536 N. HALIFAX AVENUE, SUITE # 100 • DAYTONA BEACH, FLORIDA 32118 • (386) 258-7999          SCALE: 1" = 30'</p>							
EXISTING SITE CONDITIONS		DAYTONA MITSUBISHI		DAYTONA BEACH, FLORIDA		PROJECT NO. 1366 C2	
<p>1366-SITE</p>							



**SITE DATA**

EXISTING ZONING: BA (BUSINESS AUTOMOTIVE) AND RP (RESIDENTIAL/PROFESSIONAL)  
 PROPOSED ZONING: PD-G  
 FUTURE LAND USE: BA (BUSINESS AUTOMOTIVE) AND BR2 (BUSINESS SHOPPING CENTER)  
 PROPOSED USE: AUTOMOTIVE SALES AND SERVICE  
 TOTAL PROJECT AREA: 4.29 ACRES

DESCRIPTION	S.F.	ACRES	%
TOTAL SITE AREA:	186,840	4.29	100
PROPOSED BUILDING:	23,167	0.53	13
PROPOSED ASPHALT AND CONCRETE:	118,566	2.72	63
TOTAL IMPERVIOUS AREA:	141,733	3.25	76
TOTAL PERVIOUS AREA:	45,107	1.04	24

TOTAL BUILDING AREA:  
 PHASE 1: EAST 2 STORY BUILDING = 45,518 ± S.F.  
 PHASE 2: CAR WASH AND LUBE BUILDING = 1,826 S.F.

**SETBACKS SUMMARY:**  
 MINIMUM LANDSCAPE BUFFERS:  
 FRONT: 25'  
 SIDE INTERIOR: 5'  
 SIDE STREET: 10' (MODIFIED BY WAIVER TO 5.59')  
 REAR: 5'

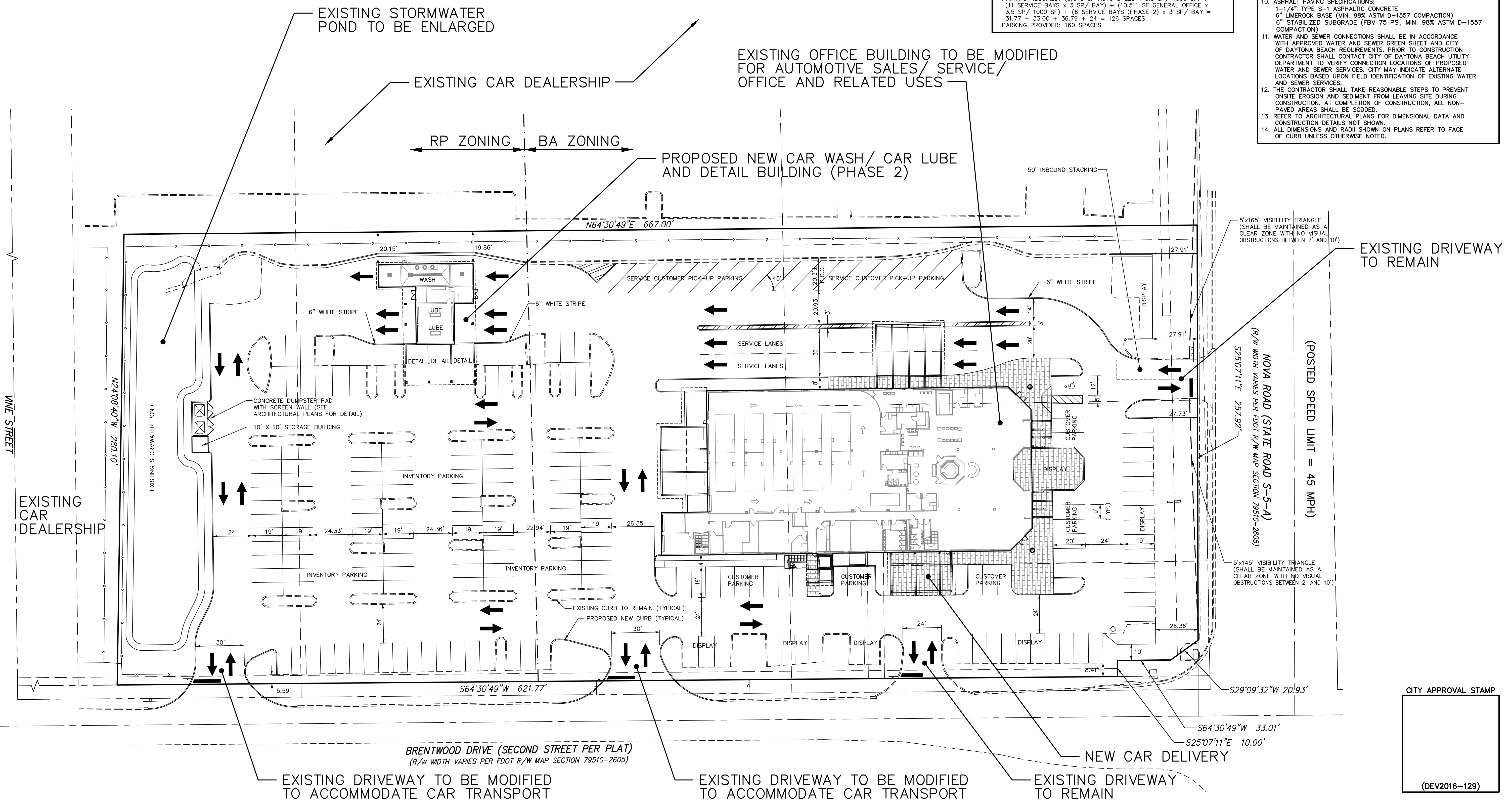
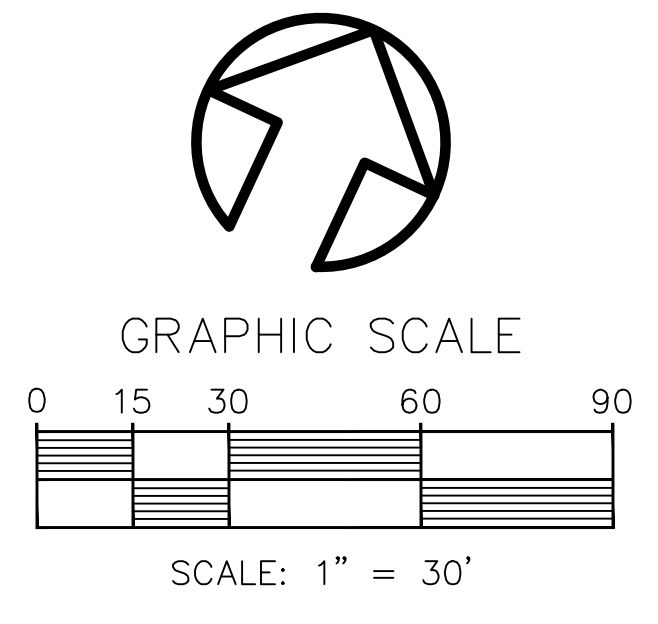
**BUILDING SETBACKS**  
 FRONT: 25'  
 SIDE INTERIOR: 7.5'  
 SIDE STREET: 7.5'  
 REAR: 25'

MAXIMUM BUILDING COVERAGE: 35%  
 MAX. BUILDING HEIGHT: 35 FT

PARKING REQUIRED: (9,078 SF AUTO SALES x 3.5 SP/1000 SF) + (11 SERVICE BAYS x 3 SP/BAY) + (10,511 SF GENERAL OFFICE x 3.5 SP/1000 SF) + (6 SERVICE BAYS (PHASE 2) x 3 SP/BAY = 31.77 + 33.00 + 36.78 + 24 = 126 SPACES  
 PARKING PROVIDED: 160 SPACES

**GENERAL NOTES**

- SCS SOIL TYPE: 69 TUSCALOOSA FINE SAND - HYDROLOGIC GROUP D
- PARCEL FALLS IN FLOOD ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SCALED FROM FLOOD INSURANCE RATE MAP No. 12127C0356 H, REVISED FEBRUARY 19, 2014.
- BOUNDARY, TOPOGRAPHIC AND TREE LOCATION SURVEYS PERFORMED BY MARK DOWST AND ASSOCIATES, JOB No. 1366, DATED 10-14-18 AND 12-19-18.
- ELEVATIONS BASED ON NAVD 1988 DATUM, AS DERIVED FROM CITY OF DAYTONA BEACH BENCHMARK RMR30, HAVING AN ELEVATION OF 10.55 FEET NAVD 88.
- PAVEMENT SHALL BE PAINT STRIPED AND WHEEL STOPPED AS SHOWN.
- ALL TRAFFIC CONTROL DEVICES, INCLUDING SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
- THE LOCATION OF ALL EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE CONTRACTOR. THE CONTRACTOR SHALL COOPERATE WITH THE RESPECTIVE UTILITY COMPANIES DURING RELOCATION OPERATIONS.
- AREAS WITHIN THE PUBLIC RIGHT OF WAY AND OFFSITE WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL BE CLEARED OF ALL DEBRIS, REGRADED, AND SODDED SO AS TO RESTORE THE AREA TO A STABILIZED AND PLANTED STATE.
- ALL SITEWORK MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA D.O.T. STANDARD SPECIFICATIONS AND SOUTHERN STANDARD BUILDING CODES.
- ASPHALT PAVING SPECIFICATIONS:  
 1-1/4" TYPE S-1 ASPHALTIC CONCRETE  
 6" LIME ROCK BASE (MIN. 98% ASTM D-1557 COMPACTION)  
 6" STABILIZED SUBGRADE (FBV 75 PSI, MIN. 98% ASTM D-1557 COMPACTION)
- WATER AND SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH APPROVED WATER AND SEWER GREEN SHEET AND CITY OF DAYTONA BEACH REQUIREMENTS. PRIOR TO CONSTRUCTION CONTRACTOR SHALL CONTACT CITY OF DAYTONA BEACH UTILITY DEPARTMENT TO VERIFY CONNECTION LOCATIONS OF PROPOSED WATER AND SEWER SERVICES. CITY MAY INDICATE ALTERNATE LOCATIONS BASED UPON FIELD IDENTIFICATION OF EXISTING WATER AND SEWER SERVICES.
- THE CONTRACTOR SHALL TAKE REASONABLE STEPS TO PREVENT ONSITE EROSION AND SEDIMENT FROM LEAVING SITE DURING CONSTRUCTION. AT COMPLETION OF CONSTRUCTION, ALL NON-PAVED AREAS SHALL BE SODDED.
- REFER TO ARCHITECTURAL PLANS FOR DIMENSIONAL DATA AND CONSTRUCTION DETAILS NOT SHOWN.
- ALL DIMENSIONS AND RADII SHOWN ON PLANS REFER TO FACE OF CURB UNLESS OTHERWISE NOTED.



NO.	DATE	APPR.	REVISION	REVISED PER CITY COMMENTS
1	06-21-17	MSD		

NOVA ROAD (STATE ROAD S-5-A)  
 (R/W WIDTH VARIES PER FDOT R/W MAP SECTION 79510-2805)  
 (POSTED SPEED LIMIT = 45 MPH)

**MARK DOWST & ASSOCIATES, INC.**  
 ENGINEERS \* PLANNERS \* SURVEYORS  
 LB 4335  
 536 N. HALIFAX AVENUE, SUITE # 100 \* DAYTONA BEACH, FLORIDA 32118 \* (386) 258-7999

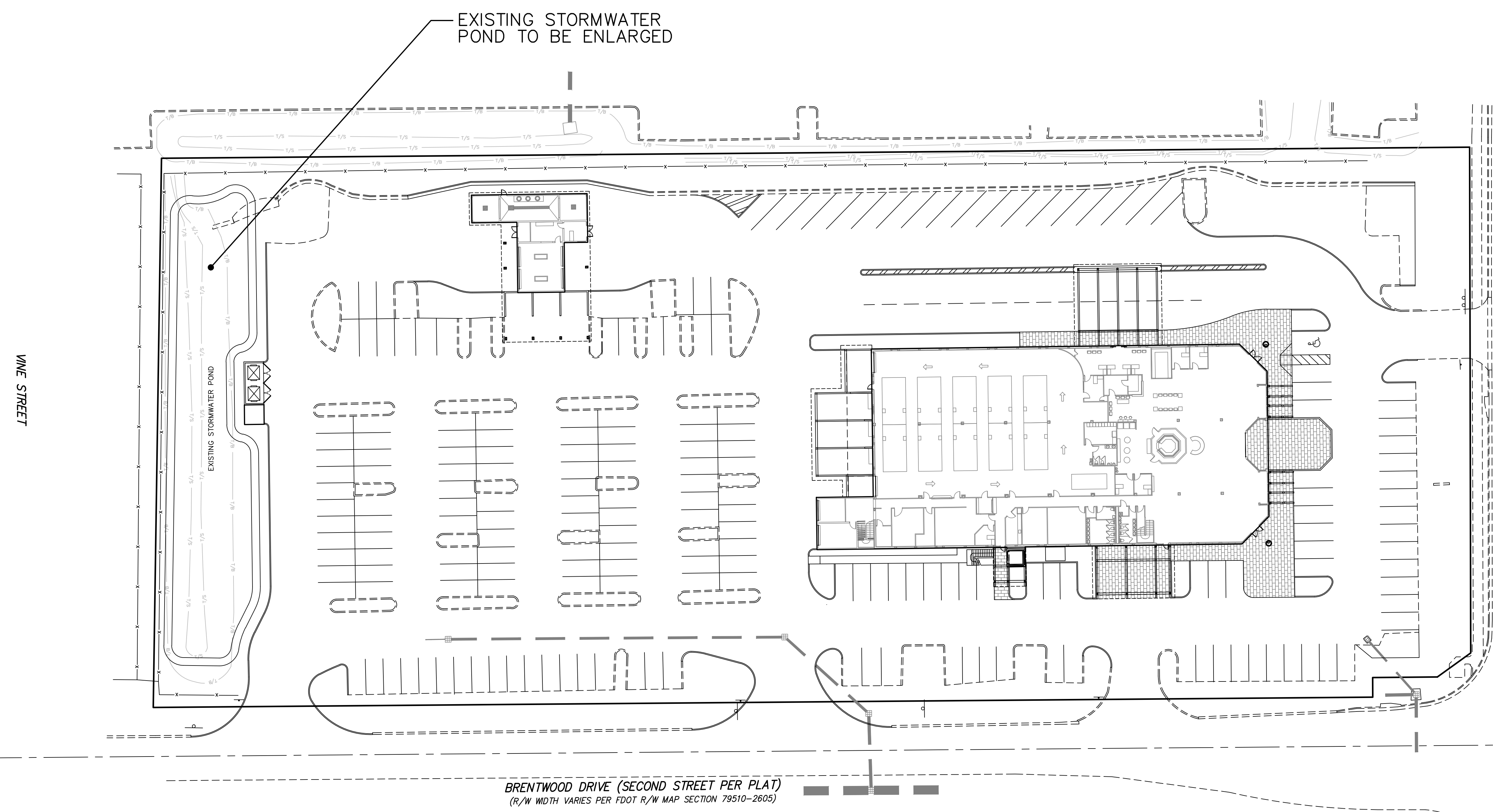
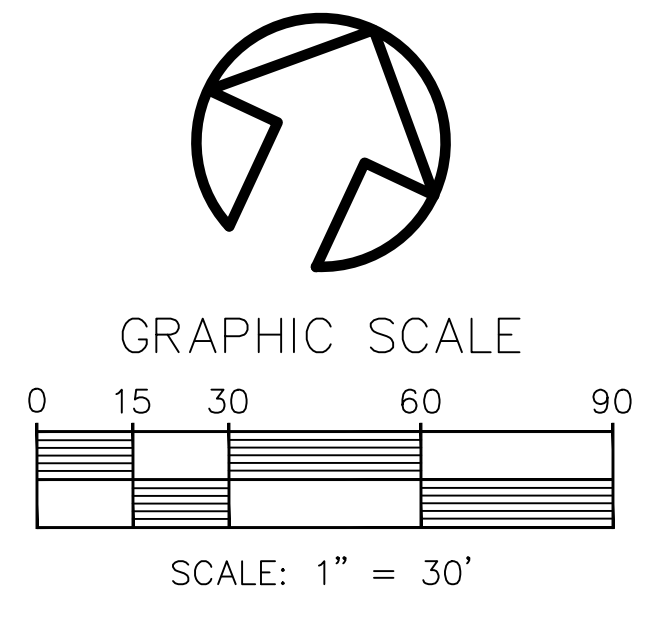
SCALE: 1"=30'  
 DESIGNED: MSD  
 DRAWN: JAY  
 CHECKED: MSD  
 DATE: 02-02-17

OVERALL DEVELOPMENT PLAN  
 DAYTONA MITSUBISHI  
 DAYTONA BEACH, FLORIDA

PROJECT NO.  
 1366 C3

1366-SITE

CITY APPROVAL STAMP  
 (DEV2016-129)



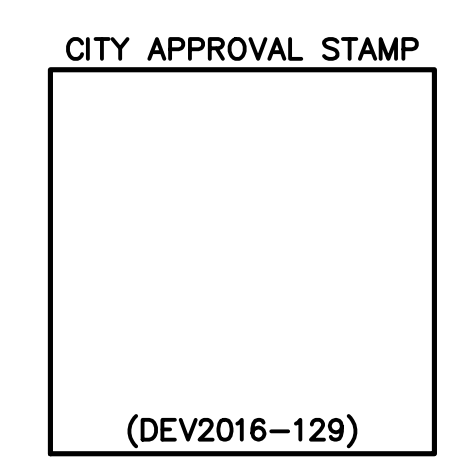
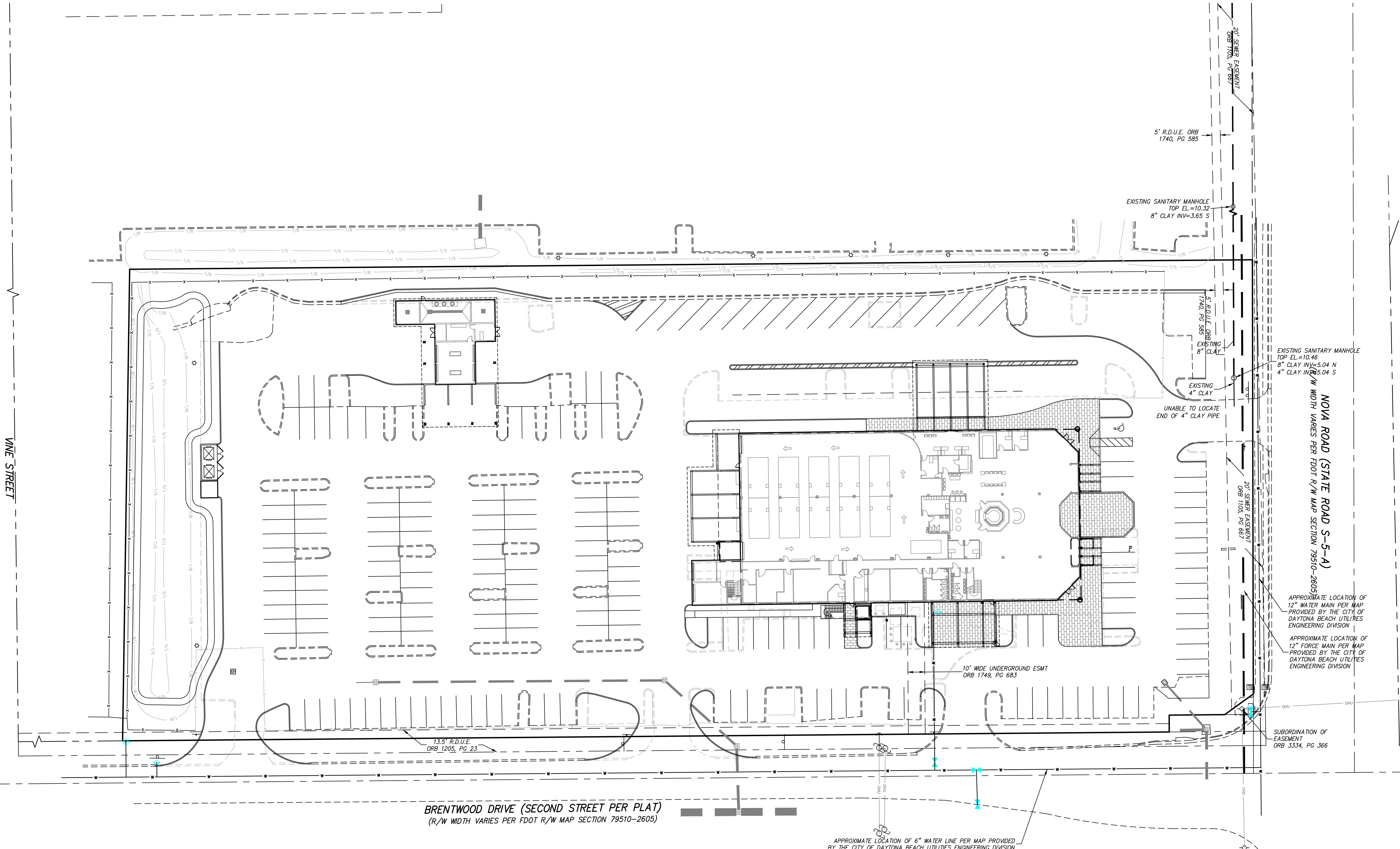
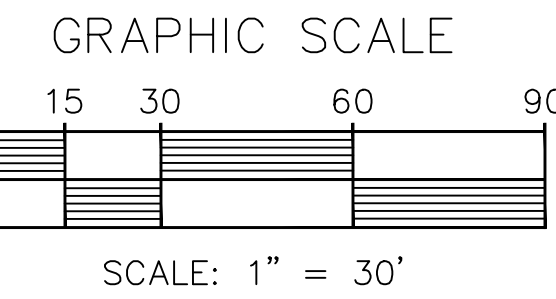
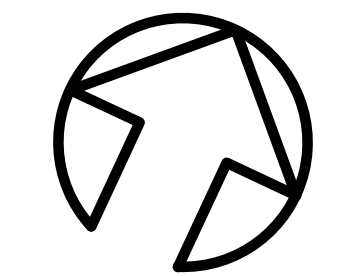
NOVA ROAD (STATE ROAD S-5-A)  
(R/W WIDTH VARIES PER FDOT R/W MAP SECTION 79510-2805)

CITY APPROVAL STAMP  
  
(DEV2016-129)

PROJECT NO. <b>1366</b>		C4	
1366-SITE			
STORMWATER PLAN		DAYTONA BEACH, FLORIDA	
DAYTONA MITSUBISHI			
DAYTONA BEACH, FLORIDA			
 <b>MARK DOWST &amp; ASSOCIATES, INC.</b> ENGINEERS * PLANNERS * SURVEYORS EB 4335 LB 4335 536 N. HALIFAX AVENUE, SUITE # 100 • DAYTONA BEACH, FLORIDA 32118 • (386) 258-7999			
DESIGNED	MSD	DRAWN	JAY
CHECKED	MSD	BY	
DATE	02-02-17	DATE	
<b>MARK DOWST &amp; ASSOCIATES, INC.</b> ENGINEERS * PLANNERS * SURVEYORS EB 4335 LB 4335 536 N. HALIFAX AVENUE, SUITE # 100 • DAYTONA BEACH, FLORIDA 32118 • (386) 258-7999			
NO.	1	DATE	06-21-17
APPR.		MSD	
REVISION			



THE FINAL SITE PLAN WILL BE REQUIRED TO INDICATE A REDUCED PRESSURE BACKFLOW PREVENTER ON THE DOMESTIC WATER SERVICE, A DOUBLE CHECK VALVE ASSEMBLY ON THE FIRE LINE AND AN INSPECTION MANHOLE ON THE SANITARY SEWER SERVICE. A CURRENT CERTIFICATION OF ALL BACKFLOW PREVENTION DEVICES WILL BE REQUIRED PRIOR TO ISSUANCE OF A C.O.

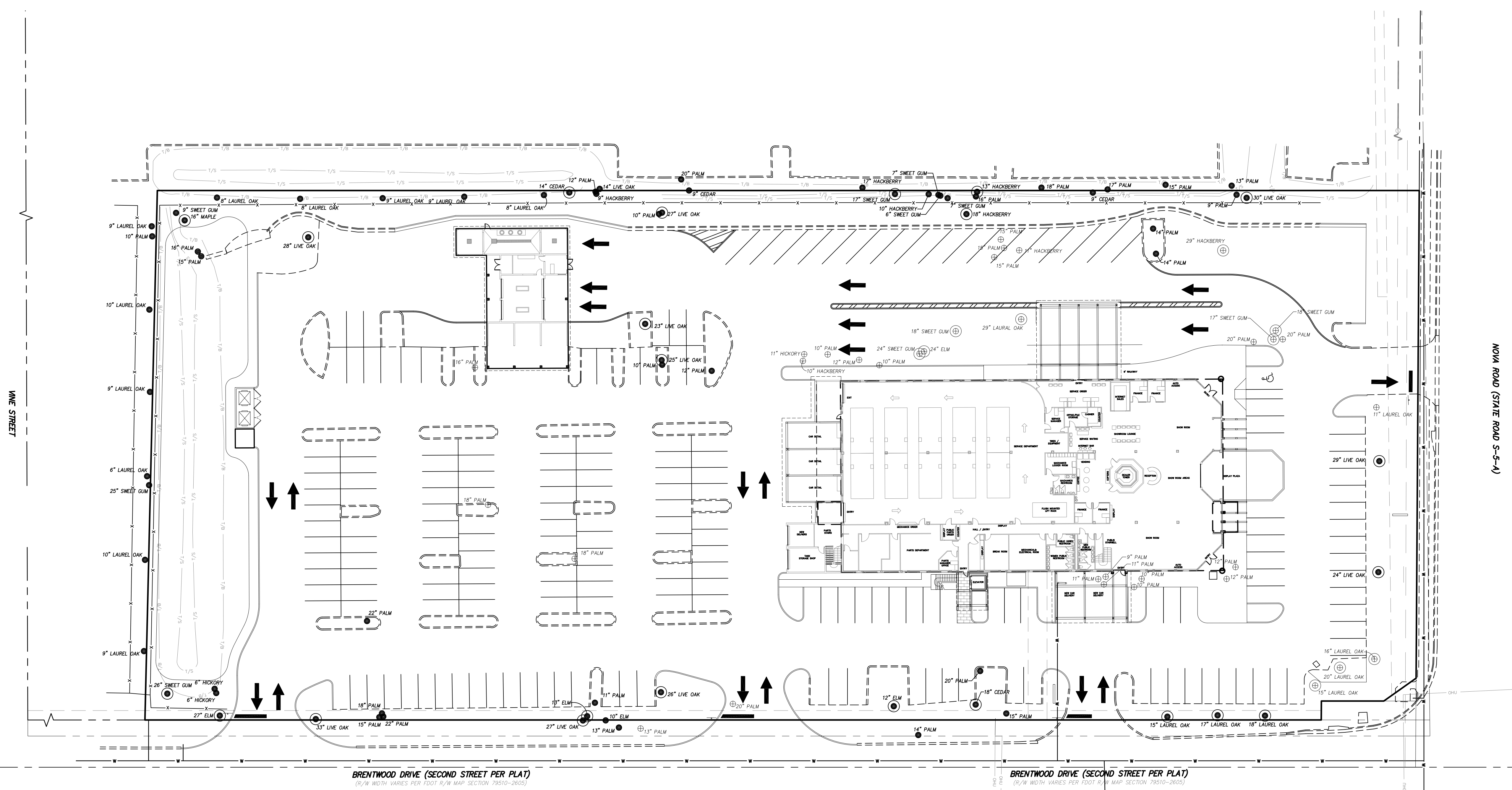


REVISION		DATE		BY	
NO.	DATE	APPR.	DATE	CHECKED	DATE
1	06-21-17	MSD		JAY	02-02-17

<b>MARK DOWST &amp; ASSOCIATES, INC.</b> ENGINEERS * PLANNERS * SURVEYORS LB 4335 536 N. HALIFAX AVENUE, SUITE # 100 • DAYTONA BEACH, FLORIDA 32118 • (386) 258-7999							
DESIGNED	MSD	DRAWN	JAY	CHECKED	MSD	DATE	02-02-17
UTILITY PLAN		DAYTONA MITSUBISHI		DAYTONA BEACH, FLORIDA		PROJECT NO. 1366 C5	
1366-SITE							

CITY APPROVAL STAMP  
(DEV2017)

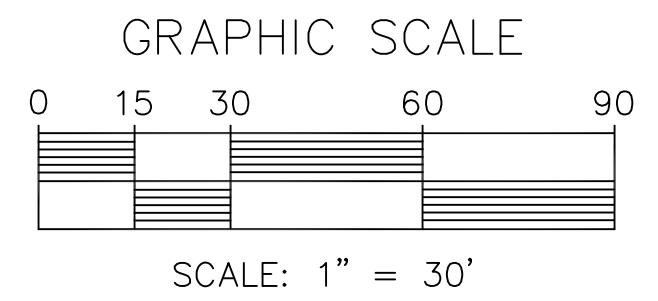
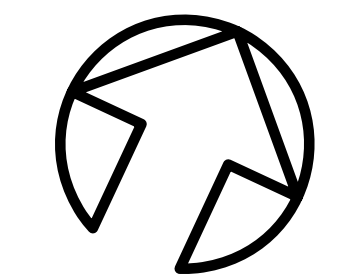


**EXISTING TREE LEGEND:**

- 12"Ø DENOTES TREE, SIZE AND TYPE
- ⊕ 12"Ø EXISTING TREE TO BE REMOVED
- 12"Ø EXISTING TREE TO REMAIN
- ⊕ 19"Ø DENOTES SPECIMEN TREE TO BE REMOVED
- ⊕ 19"Ø DENOTES SPECIMEN TREE TO BE PRESERVED
- ⊕ 43"Ø DENOTES HISTORIC TREE TO BE REMOVED
- ⊕ 43"Ø DENOTES HISTORIC TREE TO BE PRESERVED

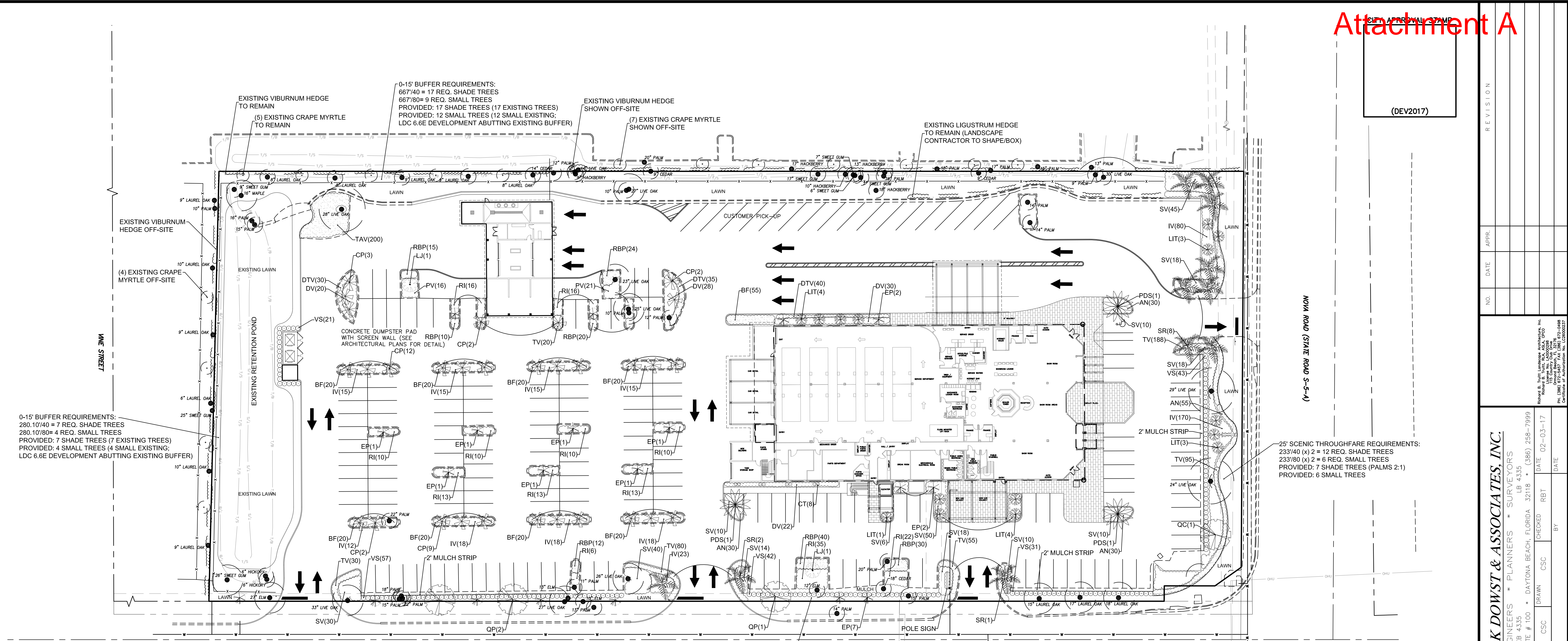
**SPECIMEN TREE DATA:**

(33) SPECIMEN TREES /4.29 ACRES = 7.69 TREES PER ACRE  
 = 50% SPECIMEN TREES TO BE SAVED  
 (33) x 50% = 17 SPECIMEN TREES TO BE SAVED  
 (23) SPECIMEN TREES REMAIN ON SITE



<p><b>MARK DOWST &amp; ASSOCIATES, INC.</b>                  ENGINEERS * PLANNERS * SURVEYORS                  536 N. HALIFAX AVENUE, SUITE # 100 * DAYTONA BEACH, FLORIDA 32118 * (386) 258-7999                  SCALE 1" = 30'</p>		<p>DESIGNED CSC                  DRAWN CSC                  CHECKED RBT                  BY</p>	<p>DATE 02-03-17                  DATE</p>
<p><b>TREE PROTECTION/REMOVAL PLAN</b></p>		<p><b>DAYTONA MITSUBISHI</b>                  DAYTONA BEACH, FLORIDA</p>	
<p>PROJECT NO.  <b>1366</b></p>		<p>LA-0</p>	
<p>NO. DATE DATE APPR.</p>		<p>REVISION</p>	

(DEV2017)



0-15' BUFFER REQUIREMENTS:  
280.10/40 = 7 REQ. SHADE TREES  
280.10/80 = 4 REQ. SMALL TREES  
PROVIDED: 7 SHADE TREES (7 EXISTING TREES)  
PROVIDED: 4 SMALL TREES (4 SMALL EXISTING)  
LDC 6.6E DEVELOPMENT ABUTTING EXISTING BUFFER

25' SCENIC THROUGHFARE REQUIREMENTS:  
233/40 (x) 2 = 12 REQ. SHADE TREES  
233/80 (x) 2 = 6 REQ. SMALL TREES  
PROVIDED: 7 SHADE TREES (PALMS 2:1)  
PROVIDED: 6 SMALL TREES

0-15' BUFFER REQUIREMENTS:  
529/40 = 13 REQ. SHADE TREES  
529/80 = 7 REQ. SMALL TREES  
PROVIDED: 13 SHADE TREES (3 PROPOSED OAKS & 10 EXISTING TREES/PALMS)  
PROVIDED: 7 SMALL TREES

**LANDSCAPE SITE DATA CHART:**  
SITE ACREAGE = 186,840.22 S.F. / 2500 S.F. = 75 REQ. TREES  
PROPOSED TREES CREDITS AS FOLLOWS:  
EXISTING TREES = 39 TREES  
(16) EXISTING PALMS (2:1) = 8 TREES  
PROPOSED TREES = 39 TREES  
(37) PROPOSED PALMS = 18 TREES (2:1; 25% MAX.)  
TREES PROVIDED ON SITE = 104 TREES

**PLANTING NOTES:**

- (See plant specification and details for additional standards)
- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- All trees within lawn areas shall have a 48" diameter mulch ring.
- Sod is to be grade "A" weed free.
- All areas marked "LAWN" shall be sodded with St. Augustine 'Floratum' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum notatum. All sod is to be laid level, tight, and cut even along planting beds.
- All plants are to be top dressed with a minimum of 3"-inch layer of cypress mulch, Grade A or equal.
- Planting plans shall take precedence over plant list in case of discrepancies.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and / or deletions to the plant material must be approved by the project manager.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verifications for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which will provide 100% coverage, and 50% overlap.
- All lawn located in parking islands is to be set flush with top of curb. Provide adequate soil to within 3" of top of curb.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable. (REFER TO PLANTING DETAILS)
- A clear zone free of obstruction must be maintained around all fire hydrants. The clear zone must be 7'-6" in front of and to the sides of fire hydrants, with a 4' clear zone to the rear. Fire Department connections shall have a clear zone of 7'-6" in front & to the sides.

151	RBP	Ruellia brittoniana 'Compacta Katie'	1 gal. full
174	RI	DWARF PINK MEXICAN BLUEBELL	20" o.c.
200	TAV	Rhaphiolepis indica 'Alba'	14"ht x 15" spr.
468	TV	WHITE INDIAN HAWTHORN	3 gal. 30" o.c.
194	VS	Trachelospermum asiaticum 'Tricolor'	4" pots w/osmocote
		TRICOLOR ASIATIC JASMINE	12"-18" o.c.
		Tulbaghia violacea	1 gal. full
		PURPLE SOCIETY GARLIC	(12) Bibs min. 18" o.c.
		Viburnum suspensum	24"ht x 24" spr.
		SANDANKWA VIBURNUM	3 gal. 36" o.c.
		SEE PLANTING NOTES	solid even sod

**SITE NOTES:**

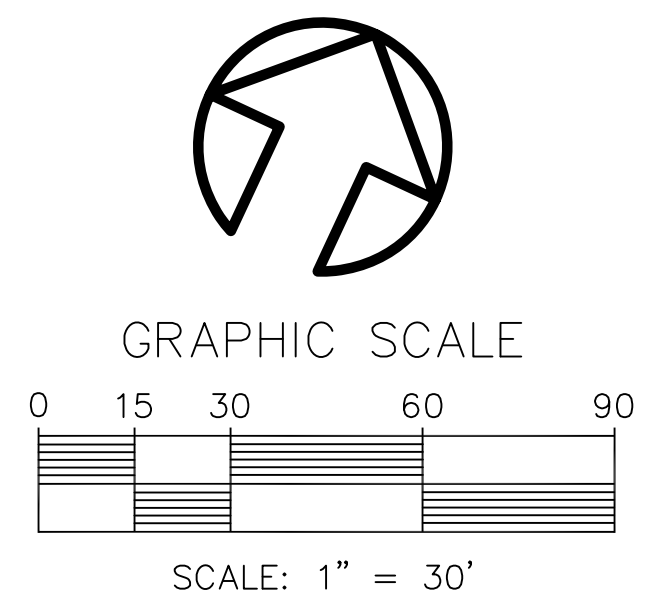
- ALL EXISTING CABBAGE PALMS SHALL HAVE THEIR DEAD FRONDS AND SEED HEADS REMOVED PRIOR TO C.O. ALSO SOME OF THESE EXISTING PALMS NEED TO BE BOOTED.
- ALL EXISTING TREES SHALL HAVE THEIR DEAD WOOD AND BROKEN LIMBS REMOVED PRIOR TO C.O.

**GENERAL NOTES:**

- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The City of Daytona Beach shall not be responsible for any damages to utility or irrigation lines.
- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations and site changes are to be brought to the attention of the Landscape Architect for clarification prior to installation.
- In the event mechanical equipment is installed on the site in a different area than shown on the plans or if mechanical equipment is added that is not shown on the plans it shall be fully screened by either fencing or vegetation or a combination of both.

**PLANT LIST:**

QUAN.	KEY	BOTANICAL/Common Name	DESCRIPTION
30	CP	Sabal palmetto	14" o.a. matched ht. (10" Diam min.); Heavy Trunk B&B
18	EP	CABBAGE PALM	8'ht x 3'spr.
15	LIT	Ilex x attenuata 'East Palatka'	1.5" caliper min. 30 gal.
2	LJ	EAST PALATKA HOLLY	8'ht x 5'spr. (3) Trunks min.; Vertical Character
3	PDS	Lagerstroemia indica 'Tuscarora'	4" Combined caliper min. 30 gal.
11	SR	DARK RED CRAPE MYRTLE	8'ht x 6'spr. (5) Trunks min. (Multi-Stem)
1	QC	Ligustrum japonicum	6" combined caliper min. B&B
3	QP	GLOSSY PRIVET	10" c.t. matched hts. B&B; Specimen
145	AN	Phoenix dactylifera 'Sylvestris'	18" o.a. ht. unless otherwise noted (10" Diam min.); Heavy Trunk B&B
215	BF	SYLVESTER PALM	16'ht x 7'spr.
8	CT	Syagrus romanzoffiana	4" caliper min. 100 gal.
105	DTV	QUEEN PALM	10'ht x 3'spr.
100	DV	Quercus virginiana 'SDLN pp12015'	2.5" caliper min. 30 gal.
399	IV	CATHEDRAL OAK	18" o.c.
37	PV	Quercus phellos 'QPSTA pp13677'	1 gal. full
279	SV	HIGHTOWER WILLOW OAK	(12) Bibs min. 20" o.c.
		ANNUALS (SEASONAL FLOWERS)	30"ht x 12"spr.
		Bulbine frutescens 'Hallmark'	7 gal.
		ORANGE BULBINE	1 gal. full
		Cordyline fruticosa 'Florida'	24" o.c.
		FLORICA CORDYLINA	20"ht.
		Dianella tasmanica 'Variegata'	1 gal. 30" o.c.
		VARIEGATED FLAX LILY	3 gal. 30" o.c.
		DIETES VEGETA	3 gal. 30" o.c.
		WHITE AFRICAN IRIS	20"ht x 18"spr.
		Ilex vomitoria 'Schillings Dwarf'	3 gal. 30" o.c.
		DWF. YAUPON HOLLY	3 gal. 30" o.c.
		Pittosporum tobira 'Variegata'	24"ht x 20"spr.
		VARIEGATED PITTOSPORUM	3 gal. 30" o.c.
		Schefflera arboricola 'Trinette'	3 gal. 30" o.c.
		DWF. VARIEGATED SCHEFFLERA	



**MARK DOWST & ASSOCIATES, INC.**  
ENGINEERS \* PLANNERS \* SURVEYORS  
536 N. HALIFAX AVENUE, SUITE # 100 \* DAYTONA BEACH, FLORIDA 32118 \* (386) 258-7999  
SCALE: 1" = 30'

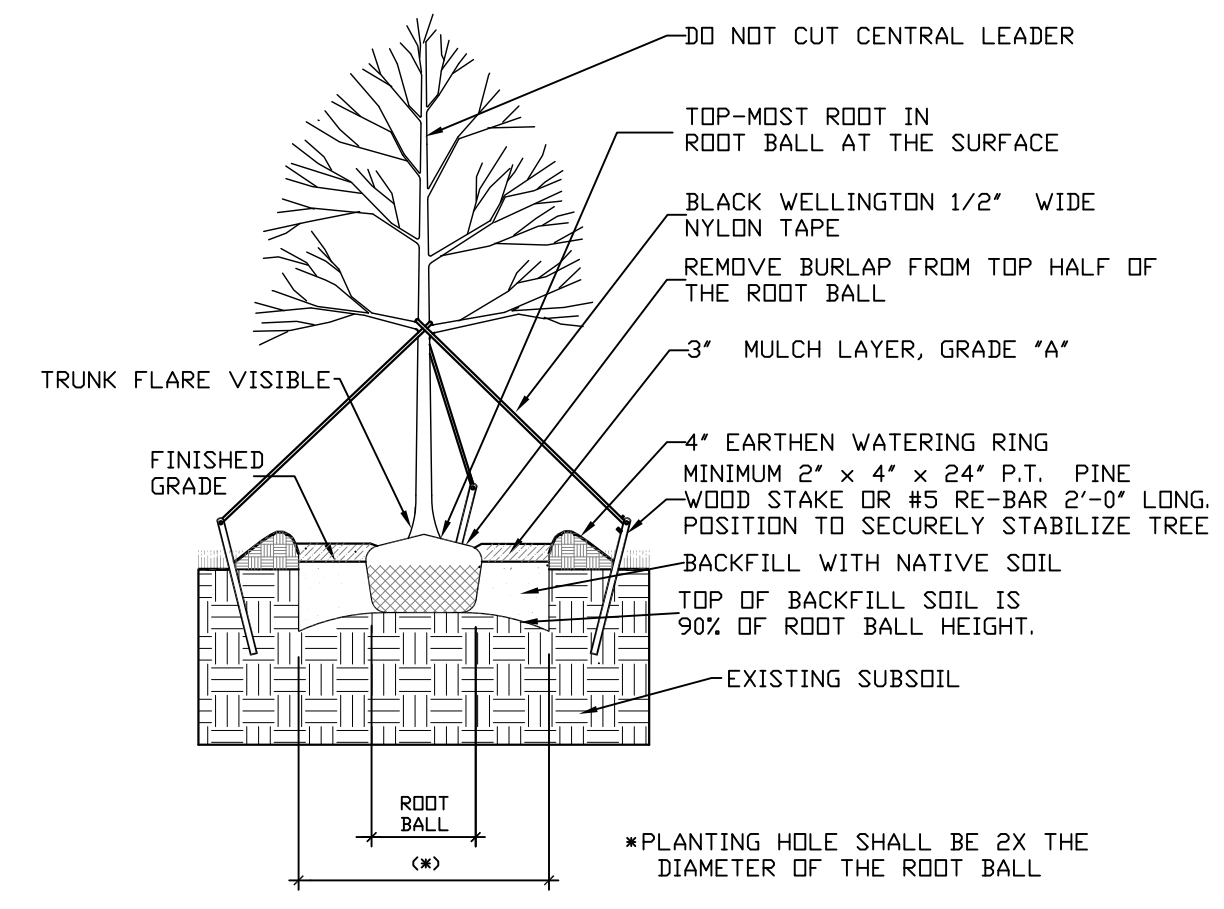
NO.	DATE	APPR.	REVISION

DESIGNED: CSC  
DRAWN: CSC  
CHECKED: RT  
DATE: 02-03-17

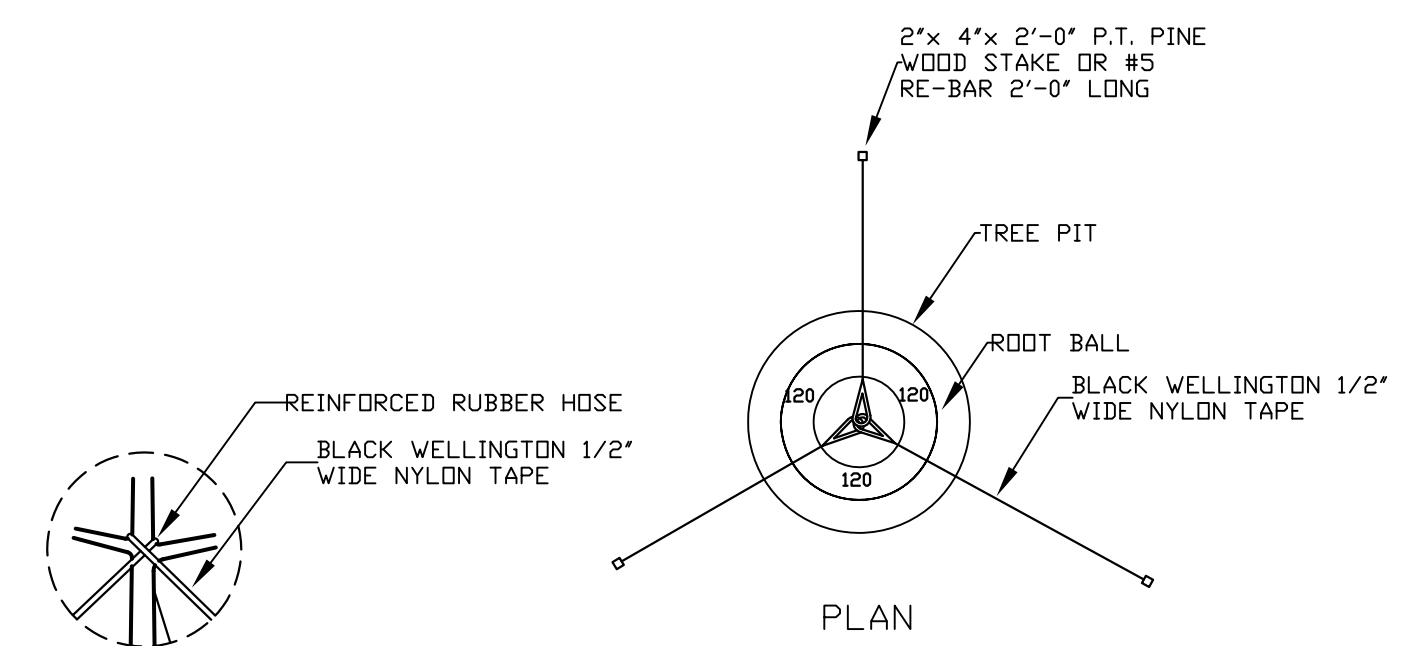
LANDSCAPE PLAN  
DAYTONA MITSUBISHI  
DAYTONA BEACH, FLORIDA

PROJECT NO. 1366 LA-1  
1366-SITLAND

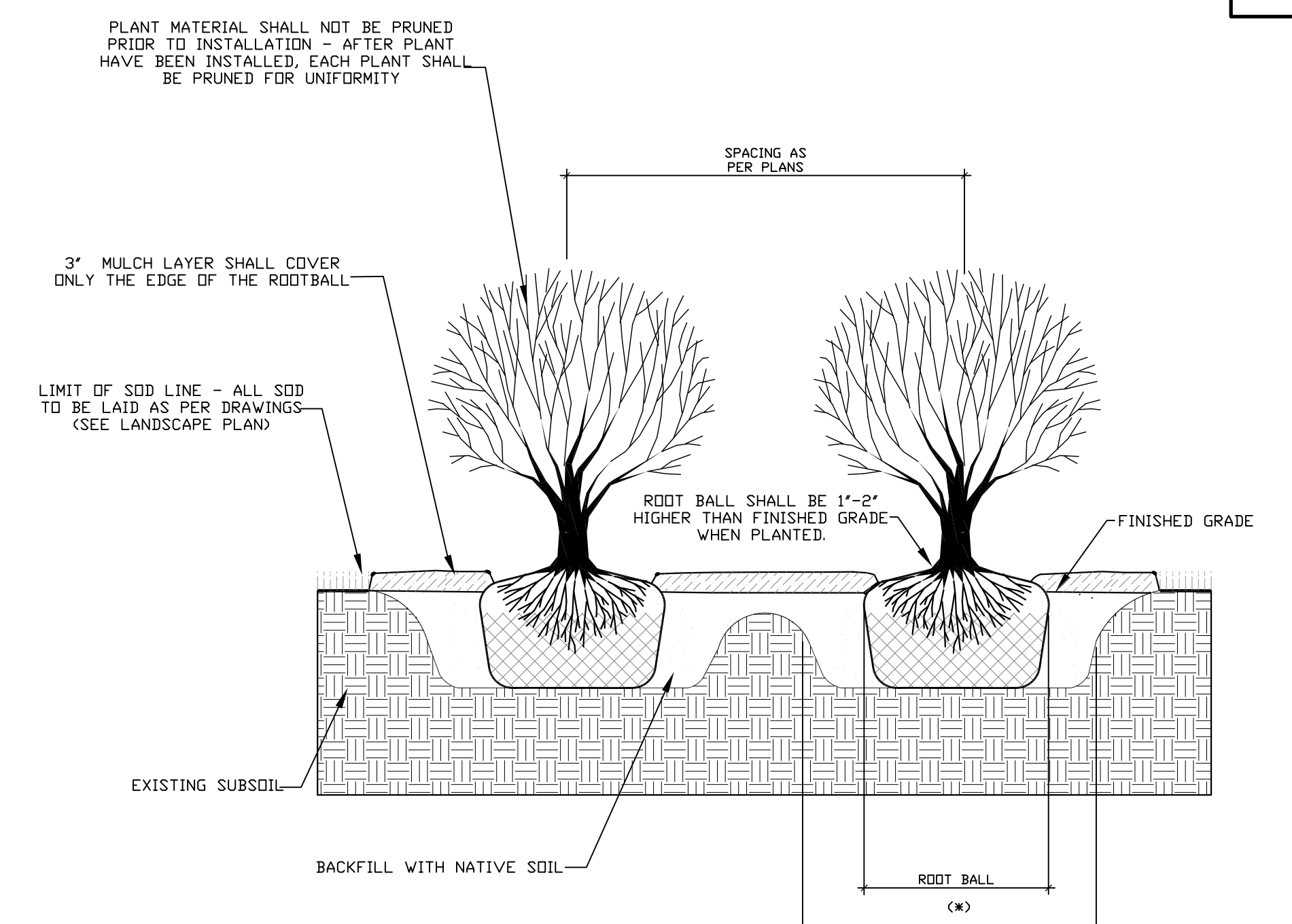
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(DEV2017)



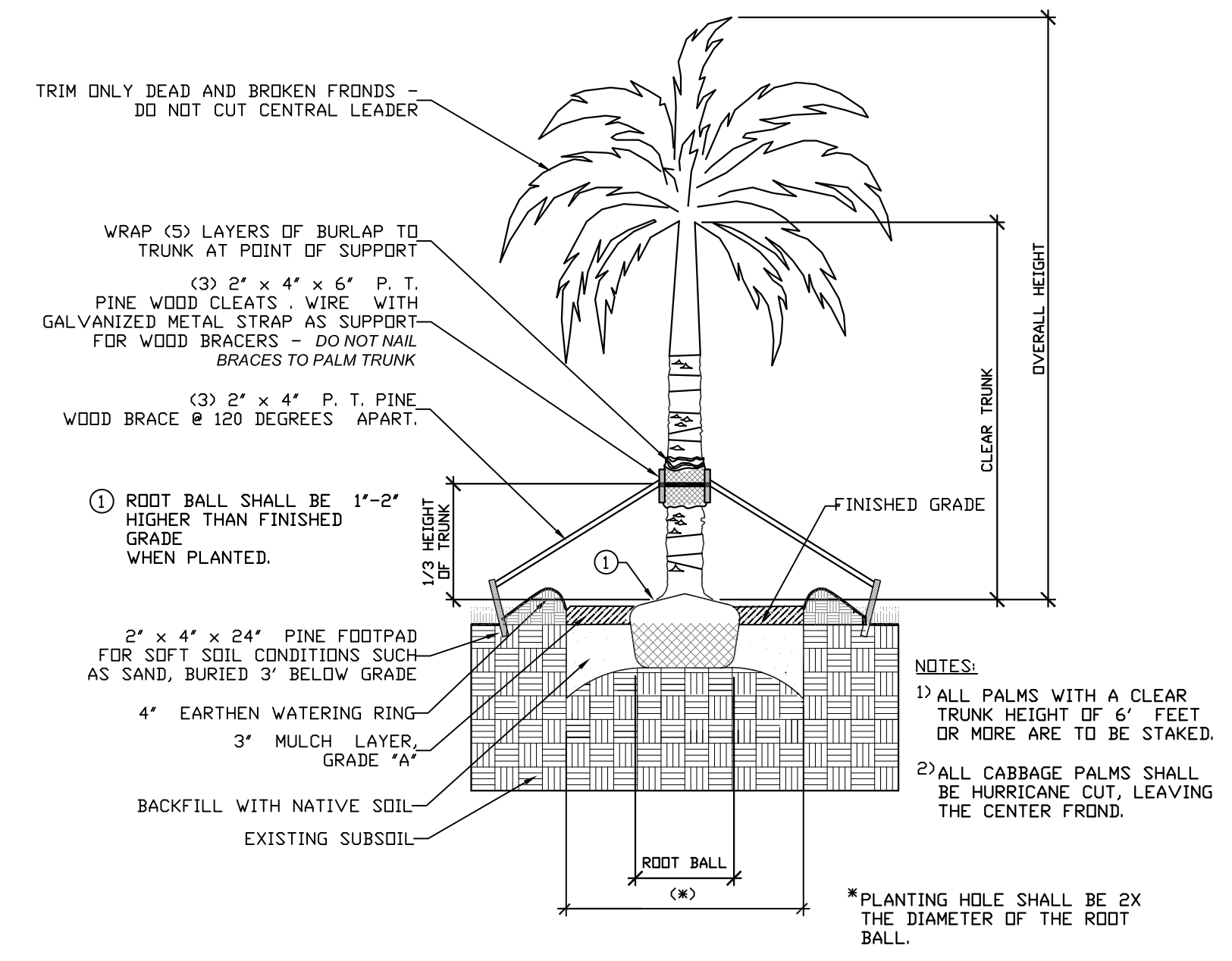
1 LARGE TREE PLANTING DETAIL



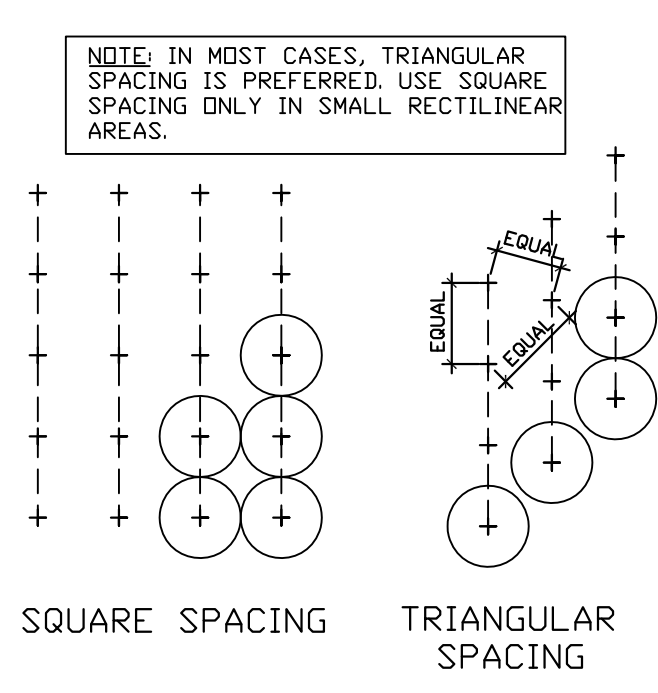
2 TYPICAL TREE GUYING DETAIL



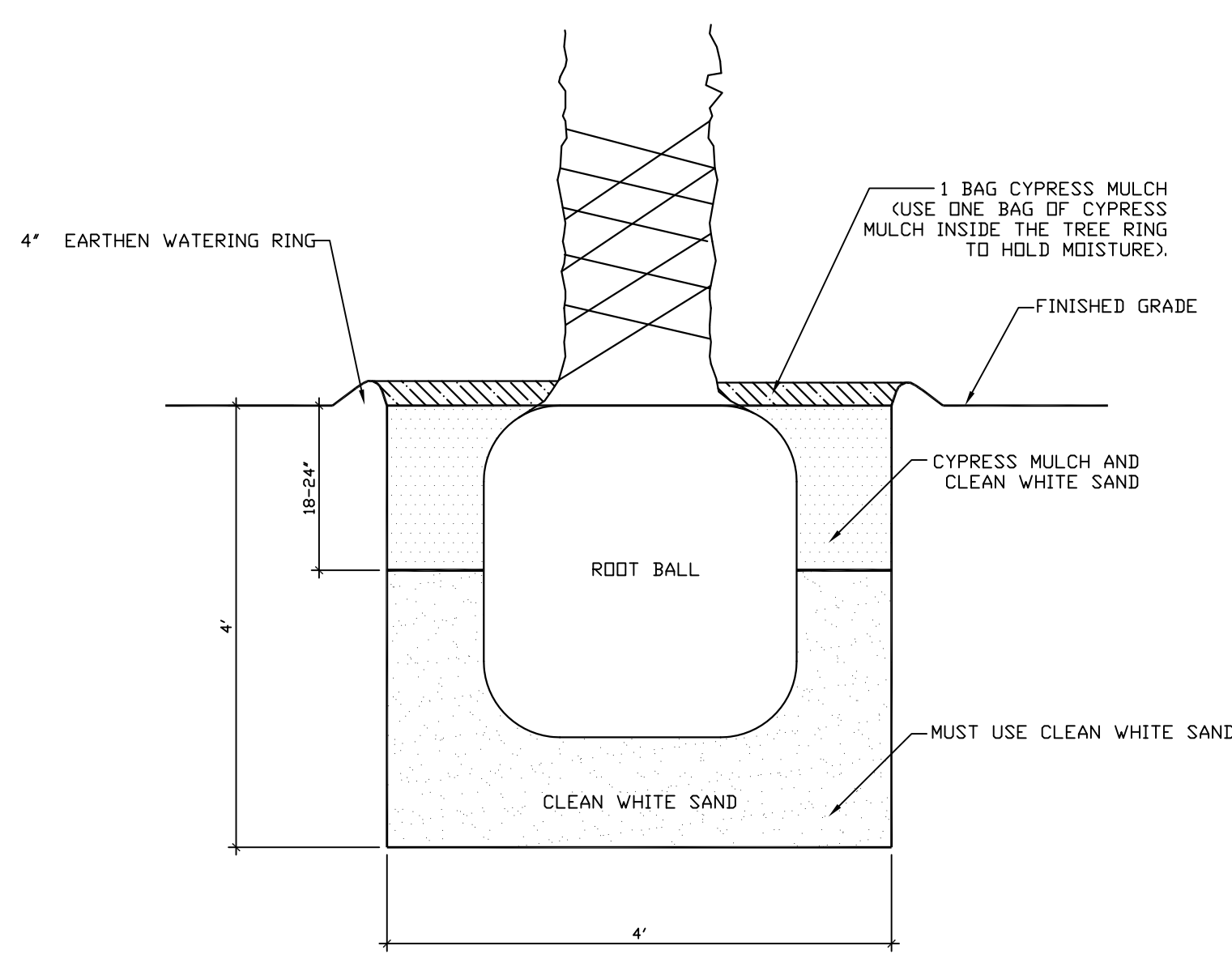
3 TYPICAL SHRUB PLANTING DETAIL



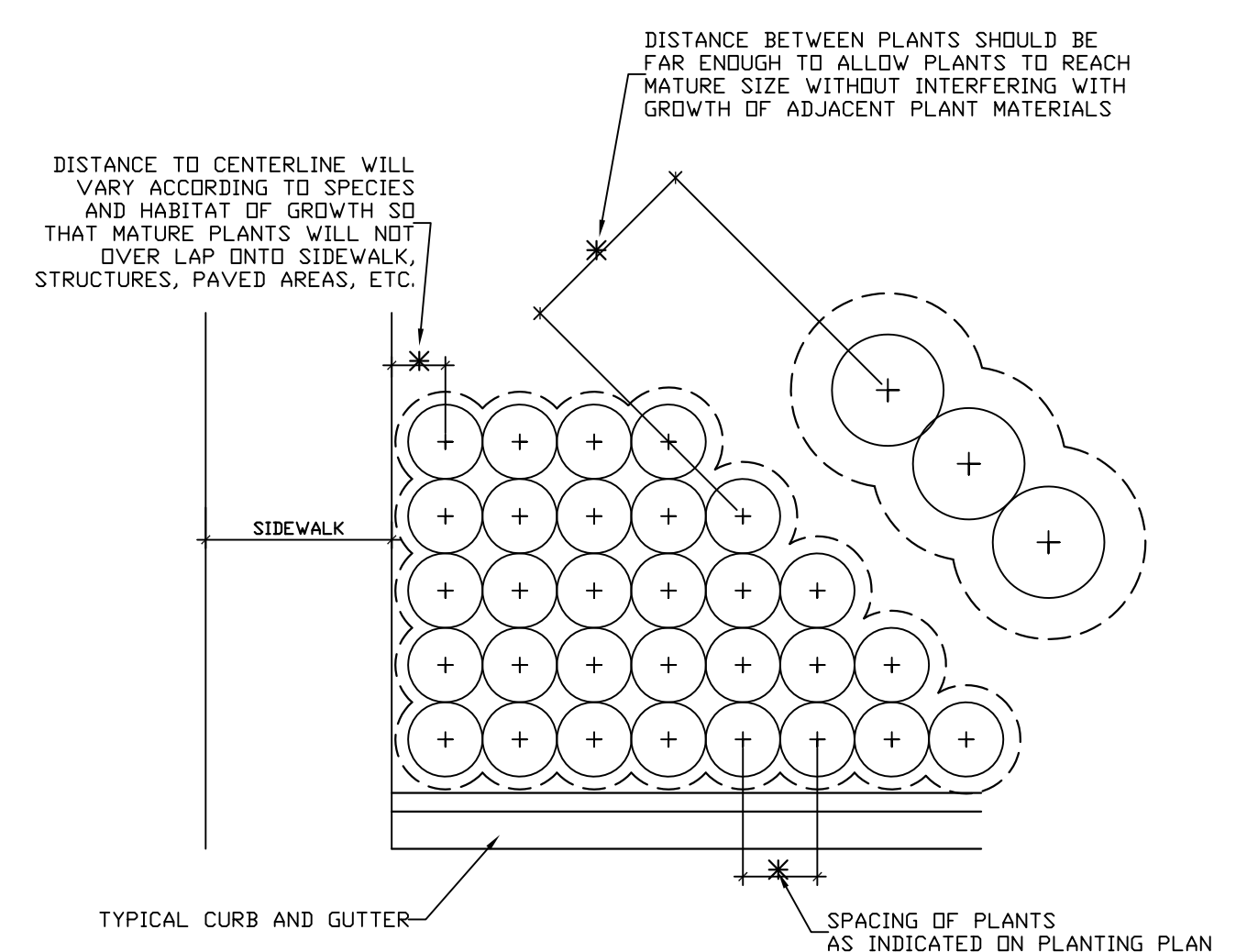
4 STRAIGHT TRUNK PALM DETAIL



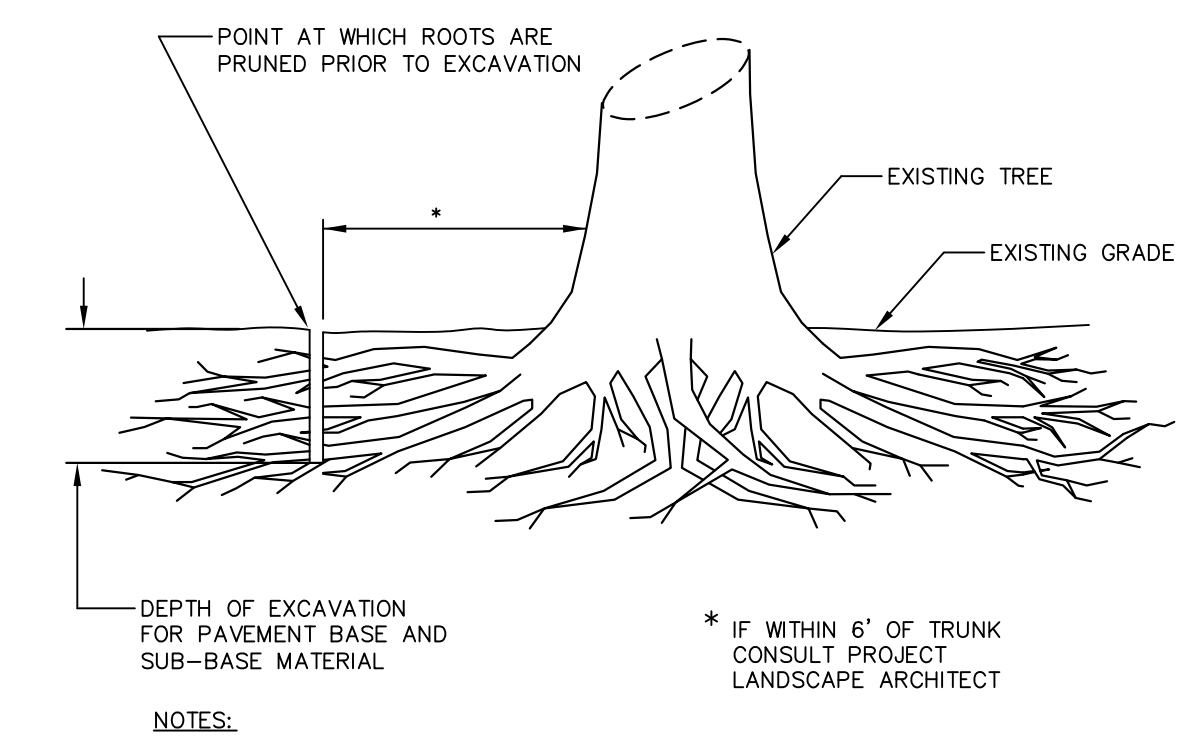
5 TYPICAL GROUND COVER PLANTING DETAIL



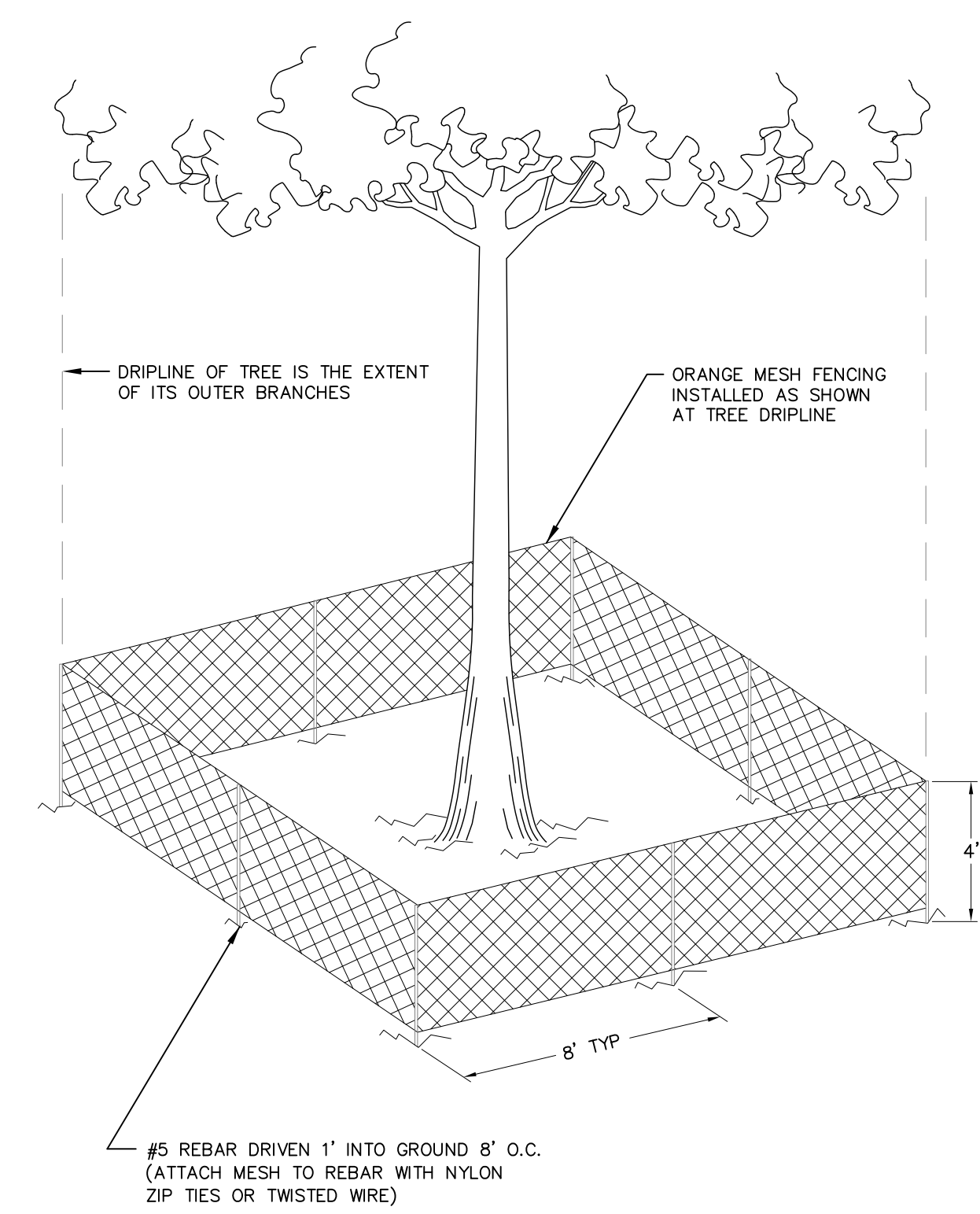
6 MEDJOOL PALM INSTALLATION SCHEMATIC  
(INFORMATION BY GROUNDWORKS)



7 TYPICAL CONTAINER SPACING



8 ROOT PRUNING DETAIL



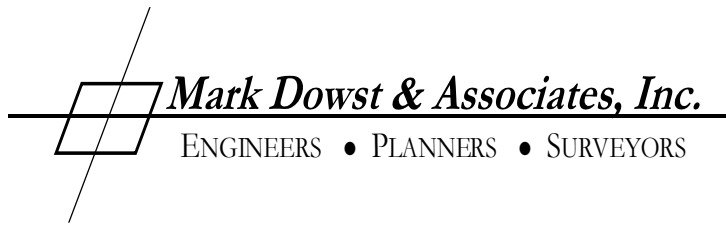
9 TREE BARRICADE DETAIL

NO.	DATE	APPR.	REVISION

Mark Dowst & Associates, Inc.  
Engineers \* Planners \* Surveyors  
536 N. Halifax Avenue, Suite # 100  
Daytona Beach, Florida 32118  
Tel: (386) 258-7999  
Fax: (386) 258-7999

**MARK DOWST & ASSOCIATES, INC.**  
ENGINEERS \* PLANNERS \* SURVEYORS  
EB 4335  
536 N. HALIFAX AVENUE, SUITE # 100 • DAYTONA BEACH, FLORIDA 32118 • (386) 258-7999  
SCALE N.T.S. DESIGNED CSC DRAWN CSC CHECKED RBT BY DATE 02-03-17

LANDSCAPE DETAILS  
DAYTONA MITSUBISHI  
DAYTONA BEACH, FLORIDA



July 21, 2017

Mr. Dennis Mrozek  
Principal Planner  
City of Daytona Beach  
301 S. Ridgewood Avenue, Room 240  
Daytona Beach, FL 32115

**Re:    *Modification and Benefits of the Daytona Mitsubishi Planned District Agreement  
LDC Modification and Public Benefits  
DEV 2016-129***

Dear Dennis:

I have the pleasure of representing Triple Diamond Real Estate LLC. The subject property is the old ATT building site located at the NW corner of Nova Road and Brentwood Drive. Triple Diamond Real Estate intends to redevelop this property into an automobile sales and service faculty. This letter will outline the code waivers being requested to construct this project and the public benefits of the development.

**Project Summary:** It is critically important to the vitality and appearance of the city to eliminate the inventory of vacant buildings and non-maintained properties, especially along major thoroughfares in Daytona Beach. This project partly accomplishes this goal by redeveloping a vacant 40,000 sf building on a 4.29 acre site at 900 North Nova Road. This site has been vacant for approximately 2.5 years due to the larger size of the building and site making it especially difficult to reuse. This project will refurbish the existing building including substantial exterior architectural enhancements, pedestrian paver surfaces and re-landscaping. The transition of this property to automotive use will complement the existing car dealerships to the north and east of the property. The project is also expected to create 25 to 30 permanent new jobs with an annual payroll of approximately \$1,100,000.00. There are a number of constraints associated with reuse and revitalization of this existing site that require modifications to redevelop.

#### **Requested Modification and Administrative Approvals**

1.    ***Modification from LDC Section 6.4(C)2 regarding “Building Perimeters”.*** The LDC requires the following:

- a. Provide 5’ continuous landscape areas next to building.

The Developer proposes the following:

- a. Replace 5’ required perimeter building landscaping in selected areas with enlarged perimeter landscaping in some areas and wider decorative paver pedestrian surfaces in

others to facilitate the transition from office building to automotive use with automotive product display.

2. ***Modification from LDC Section 4.9(D) regarding “Scenic Thoroughfare Overlay (STO) District”.*** The LDC requires the following within the 25’ Nova Road scenic buffer:
  - a. Preservation of healthy trees
  - b. Provision of 12 shade trees.
  - c. Provision of 6 small trees.

The Developer proposes the following:

- a. Preserve the 2 largest exceptional trees consisting of a 29” Love Oak and a 24” Live Oak and supplement with additional trees to provide the equivalent of 7 shade trees arranged in an attractive manner. This will prevent crowding of the 2 exceptional trees preserved.
- b. Provide 6 small trees.
- c. Remove 4 smaller Laurel Oaks

In addition, the developer proposes to retain a total 23 specimen trees onsite in lieu of 17 required and install 3 signature palms consisting of Sylvester Palms at the 3 building corners visible from the street to accent the building.

3. ***Modification from LDC Section 6.4.D.2 regarding “Perimeter Landscaping Strip”.*** The LDC requires the following:

- a. Provide a minimum 8’ width adjacent to Brentwood Drive.

The Developer proposes the following:

- a. Provide a buffer along Brentwood Drive ranging from a minimum of 5.50’ to 8.41’ to accommodate the existing parking lot since providing the required buffer would impact the 37 existing parking spaces.

4. ***Modification from LDC Section 6.10 regarding “Signage”.*** Waivers are requested from the following cited LDC sections:

Section 6.10, District Sign Schedule:  
Business Districts (BP, BR-1, BR-2, BA and OP)

The Developer proposes the following non-compliant sign features:

1. One (1) monument sign on Nova Road with a 137.26 sf sign cabinet on a 207.6 sf sign base with an overall height of 30’ and one (1) ground directional sign with a 7.44 sf sign cabinet in lieu of 2 – 120 sf, 35’ max height ground signs allowed or 2-8’ high monument signs.

5. Modification for LDC Section 6.12 regarding "Building Design and Maintenance Standards".
  - a. Please refer to attached letter from the architect Stan Hoelle which outlines modifications required.

***Public Benefits:***

1. The project reduces blight by redeveloping a site which has been vacant for approximately 2.5 years.
2. The project will complement the adjacent automobile dealerships by providing additional automobile shopping options in the same area.
3. The property will add to employment through the construction of the project and the creation of 25 to 30 permanent new jobs with an approximate annual payroll of \$1,100,000.00.

We appreciate your consideration of this request. If you have any questions, please do not hesitate to call me.

Very truly yours,

**MARK DOWST & ASSOCIATES, INC.**



Mark Dowst, P.E.  
President

STANLEY PAUL HOELLE, ARCHITECT  
1114 Mistletoe Dr  
Daytona Beach, FL 32117  
386-295-9750

July 21, 2017

Dennis Mrozek, AICP, LEED AP  
Planning Manager  
The City of Daytona Beach  
301 S. Ridgewood Ave  
Daytona Beach, FL 32115-2451

Re: 900 N. Nova Road  
Daytona Mitsubishi  
DEV 2016-129

RESPONSE TO COMMENTS DATED 7-12-17

FRONT ELEVATION (EAST) - NOVA RD

**Sec. 6.12. - Building Design and Maintenance Standards.**

**4. Design Requirements.**

- a. Walls and roofs shall be staggered by changes in surface planes and architectural features to avoid a monolithic "box" appearance.
- b. The sides of building which are less than 200 feet wide shall comply with the following:
  - i. Walls shall have changes of planes with at least a three-foot projection or recess no less than every 30 horizontal feet. If columns or pairs of columns, constructed in front of a wall, make up a width of at least three feet wide, such architectural features shall count toward satisfying the changes of wall planes; and **Response – Standard not met. Modification requested.**
  - ii. Walls shall have at least one of the following architectural features integrated no less than every 30 horizontal feet:  
**Response: Standard met with the following features.**
    - (a) Porches - **(3) Recessed porches 14' each side and 27' in center.**
    - (b) Awnings - N/A
    - (c) Covered stairwells - N/A
    - (d) Doors - **All doors glass to match storefront.**
    - (e) Windows - **All glass two stories ( $\pm 77\%$ )**
    - (f) Chimneys - N/A



- (g) Columns or pilasters - **3' Diameter Columns at corners, (4) new Concrete Columns on North Front to match (4) existing Concrete Columns on the South Front.**
- (h) Changes in construction materials - **Stucco, glass & metal.**
- (i) Sun-shading devices, such as walls, canopies, and similar devices, which extend a minimum of three feet beyond the wall of adjacent walls are acceptable. - N/A

REAR ELEVATION (WEST) – N/A, not visible from Nova Road.

SOUTH ELEVATION - BRENTWOOD

**Sec. 6.12.4. Design Requirements.**

- c. The sides of buildings which are 200 feet or more wide shall comply with the following:
  - i. Walls shall have changes of planes with at least a three-foot projection or recess no less than every 50 horizontal feet. If columns or pairs of columns, constructed in front of a wall, make up a width of at least three feet wide, such architectural features shall count toward satisfying the changes of wall planes; and **Response - Standard not met. Modification requested. Provided architectural elements include Louver/Wall projection of 4'-0" (The roof line does project out & the wall as well.), has been used to break the plane of the existing flat wall (55'-0") exceeds the 50' requirement by (10%).**
  - ii. Walls shall have at least one of the architectural features listed in Section 6.12.c.4.b.ii above integrated no less than every 50 horizontal feet. **Response - Standard met with the following features.**
    - (a) Porches - **Recess porches, 14' on side of 3' column.**
    - (b) Awnings - N/A.
    - (c) Covered stairwells - **Covered stairwell and elevator are added to this elevation.**
    - (d) Doors - **All doors glass.**
    - (e) Windows - **All glass two stories and makeup 18% of walls.**
    - (f) Chimneys - N/A.
    - (g) Columns or pilasters - **3' Diameter column at corner.**
    - (h) Changes in construction materials - **Stucco vs. glass walls.**
    - (i) Sun-shading devices, such as walls, canopies, and similar devices, which extend a minimum of three feet beyond the wall of adjacent walls, are acceptable. - **New Car Delivery area.**
- j. Dumpsters and mechanical equipment such as air conditioners and compressors shall be screened from public view. The screening design shall be compatible with and part of the building design. **Response - Standard met. Exterior equipment (this is existing) shall be screened with a stucco finish 8'-0" high masonry wall with (2) double gates for access.**

NORTH ELEVATION - NORTH**Sec. 6.12.4. Design Requirements.**

- c. The sides of buildings which are 200 feet or more wide shall comply with the following:
  - i. Walls shall have changes of planes with at least a three-foot projection or recess no less than every 50 horizontal feet. If columns or pairs of columns, constructed in front of a wall, make up a width of at least three feet wide, such architectural features shall count toward satisfying the changes of wall planes; and **Response – Standard not met. Modification requested. No projections or recesses can be done to break the plane of the existing flat wall as this area to the west is in the driving lanes of the Service Canopy. (106'-0") exceeds 50' requirements. Therefore this interior side yard elevation, which is not visible from any street, technically does not meet the standard.**
  - ii. Walls shall have at least one of the architectural features listed in Section 6.12.c.4.b.ii above integrated no less than every 50 horizontal feet. **Response - Contains the following features.**
    - (a) Porches - **Recess porch 14' beside 3' column.**
    - (b) Awnings - N/A.
    - (c) Covered stairwells - N/A.
    - (d) Doors - **All glass to match storefront.**
    - (e) Windows - **Windows makeup 17% of walls.**
    - (f) Chimneys - N/A.
    - (g) Columns or pilasters - **Services canopy has column supports.**
    - (h) Changes in construction materials - **Stucco vs. glass, S.S. cable railings above canopy.**
    - (i) Sun-shading devices, such as walls, canopies, and similar devices, which extend a minimum of three feet beyond the wall of adjacent walls, are acceptable. - **Service Canopy.**

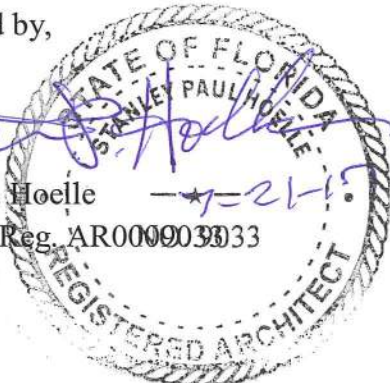
**Sec. 6.12. - Building Design and Maintenance Standards.****4. Design Requirements.**

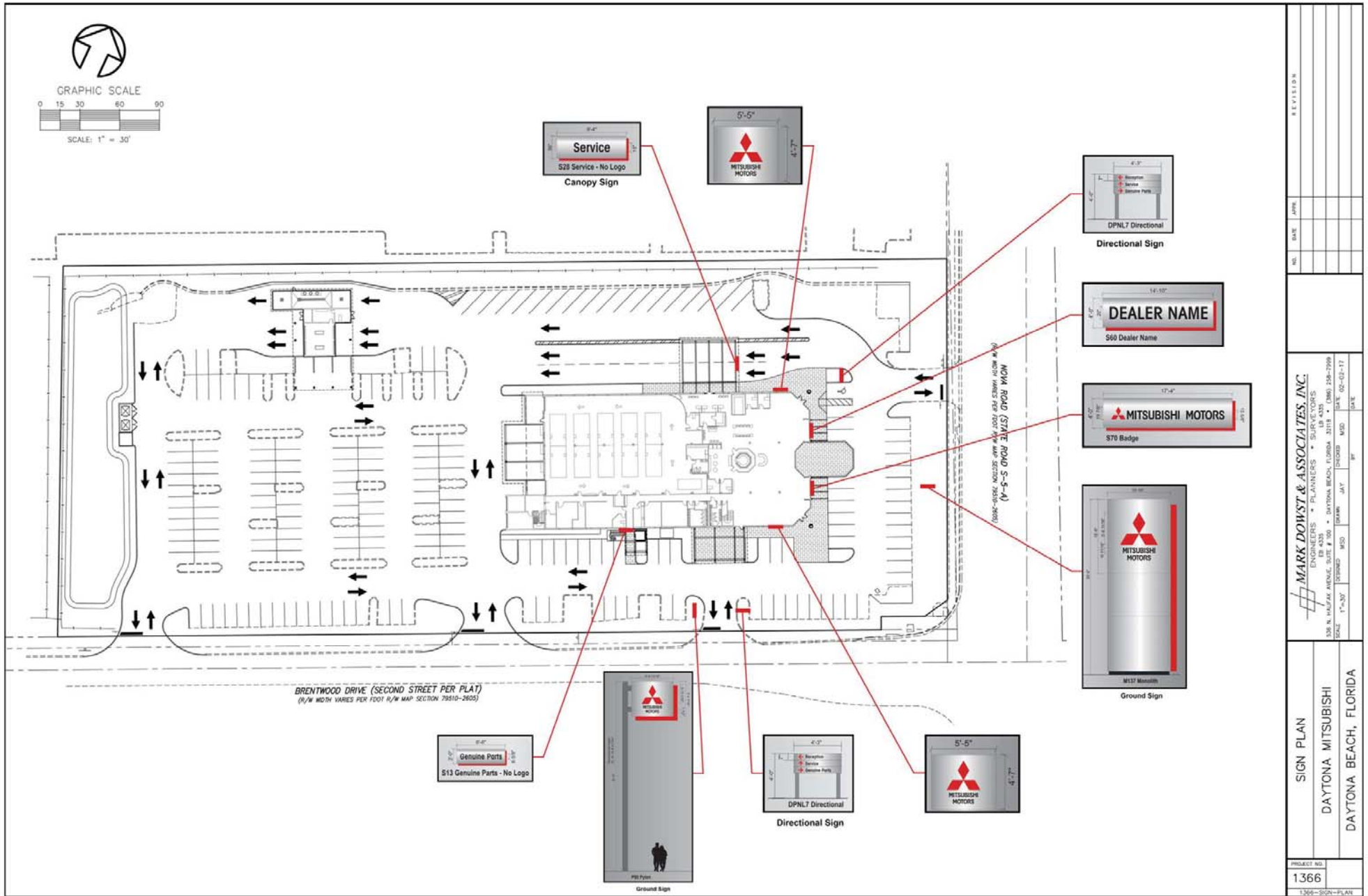
- d. Walls shall not be comprised of aluminum, metal, or flat-faced concrete block, unless such materials are used for minor accents comprising less than ten percent of the wall. **Response - Standards met.**
- e. Walls shall have windows that make up at least 15 percent of the wall. **Response - Standards met.**
- f. Highly reflective surfaces such as reflective glass and reflective metal roofs with a pitch more than a run of seven feet to a rise of 12 feet shall not be used. Solar panels and copper or painted metal roofs shall be permitted. **Response - N/A.**
- g. Roofs shall have multiple rooflines if the building is more than 30 feet wide. **Response - Existing building - Standard not met, modification requested.**

- h. Roofs which are less than 200 feet wide shall have changes of planes with at least a three-foot projection, recess, ridge, or valley no less than every 30 feet. Roofs which are 200 feet or more wide shall have changes of roof planes with at least a three-foot projection, recess, ridge, or valley no less than every 50 feet. Elevator shafts and mechanical rooms shall not satisfy this requirement. **Response - Existing building - Standard not met. Modification requested.**
- i. Except as specifically permitted herein, architecture as signage is prohibited. Buildings shall not be designed in a way in which the buildings wall surface, through color or appearance, is a sign. All areas for signage shall be part of the site or building design. **Response - N/A.**
- j. Dumpsters and mechanical equipment such as air conditioners and compressors shall be screened from public view. The screening design shall be compatible with and part of the building design. **Response - Standard met. Exterior equipment (this is existing) shall be screened with a stucco finish 8'-0" high masonry wall with (2) double gates for access.**
- k. The ground floor level of buildings where pedestrian activity may occur shall include elements of pedestrian interest. Display windows for retail shops and courtyards are suggested. Uses which visually disrupt the continuity of pedestrian movement such as open parking lots, parking structures, and rear or delivery portions of buildings shall be avoided. **Response - Standards met.**
- l. Building color should reinforce the style of the building. The color shall complement the design and not be so extreme that the color competes with the building for attention. Colors shall be earth tones or pastels having a minimum light reflectance value (LRV) of 70. Other colors may be permitted as accent, not to exceed 20 percent of the surface area of any one elevation. Fluorescent colors are prohibited. **Response - Standards met. Base color - Pale Gray, with accents of Gray's Harbor and Positive Red (Company Standard Colors) less than 20 percent.**
- m. Building entrances shall be protected from the elements and give clear identity to the entrance. **Response - Standards met. All entrances are covered.**
- n. If the use requires loading docks, garage doors, or mini-storage buildings and site conditions require them to be located along a major City thoroughfare, then they shall be screened using landscaping or architectural features. **Response-N/A.**

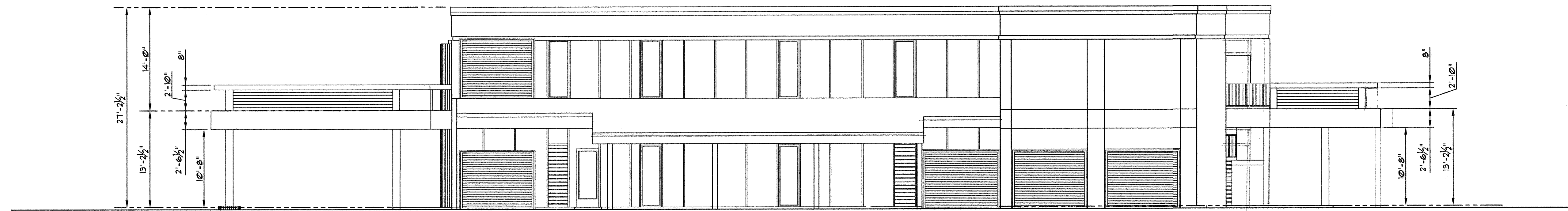
Submitted by,

  
 Stanley P. Hoelle  
 Architect Reg. AR000903033

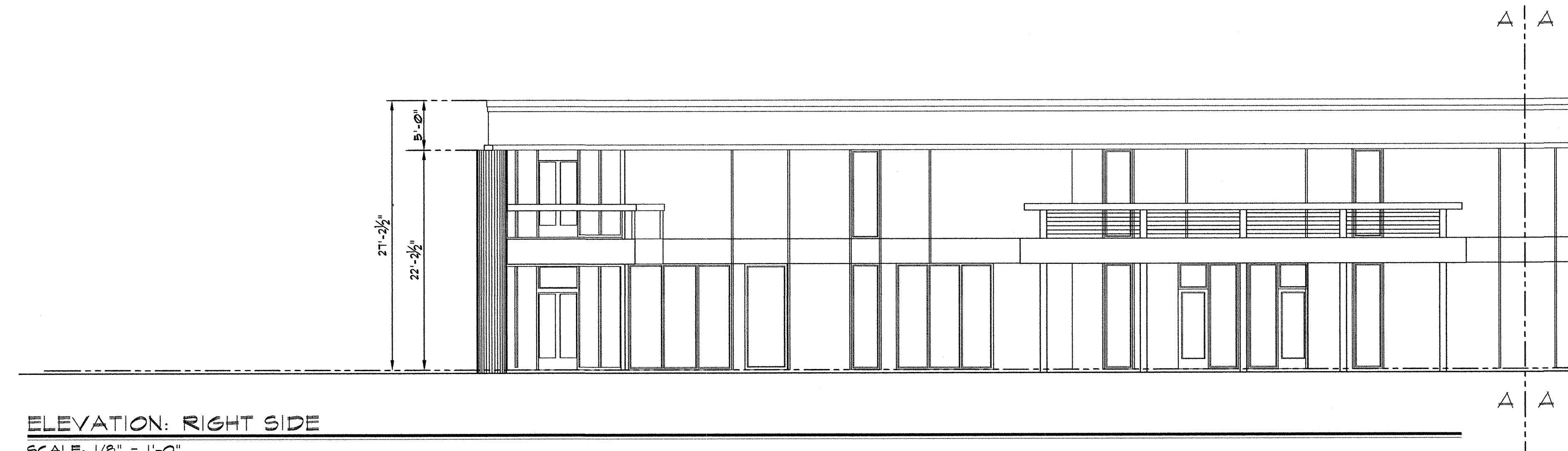




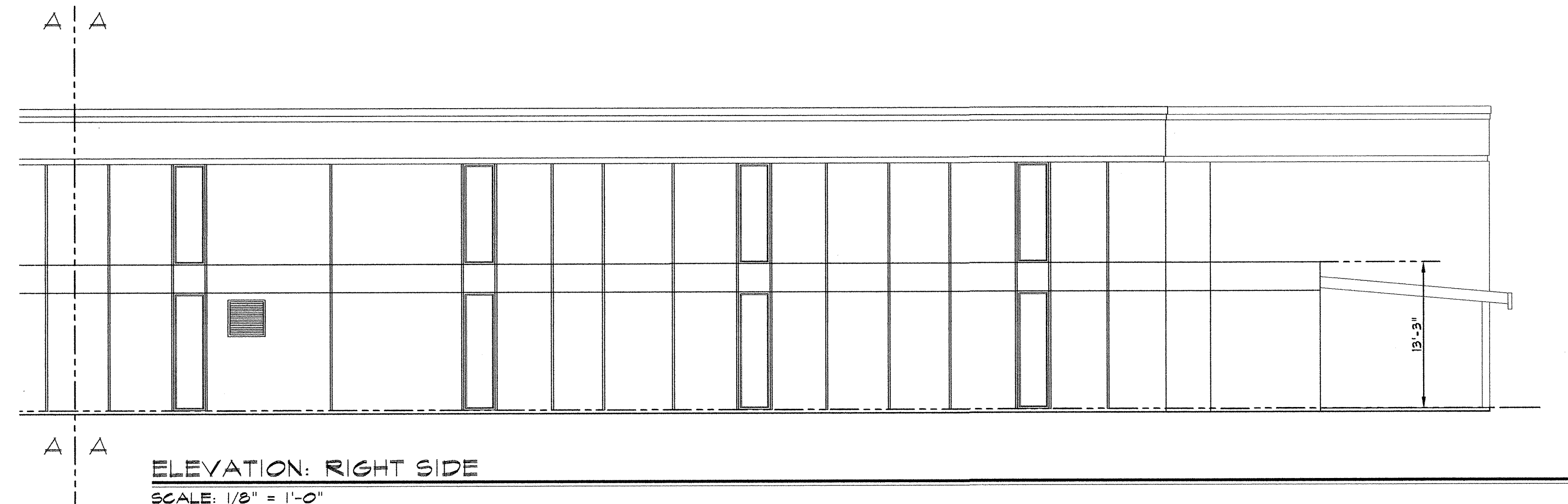




**ELEVATION: REAR**  
SCALE: 1/8" = 1'-0"

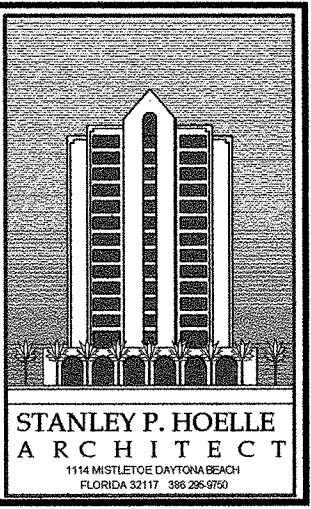


**ELEVATION: RIGHT SIDE**  
SCALE: 1/8" = 1'-0"



**ELEVATION: RIGHT SIDE**  
SCALE: 1/8" = 1'-0"

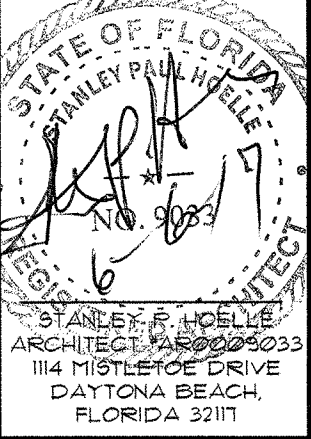
REVISION	BY
0-6-17	



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**ELEVATION**  
**DAYTONA MITSUBISHI**  
900 NORTH NOVA ROAD  
DAYTONA BEACH, FLORIDA, 32117

**SEAL**  
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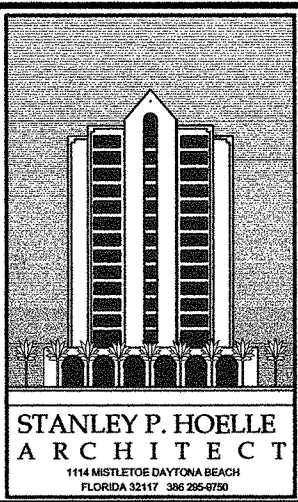


DATE: 02/12/17

DRAWN BY: DHEATH

JOB NUMBER: 092816-13

REVISION	BY



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**FIRST FLOOR PROPOSED**  
**DAYTONA MITSUBISHI**  
 900 NORTH NOVA ROAD  
 DAYTONA BEACH, FLORIDA, 32117

**SEAL**  
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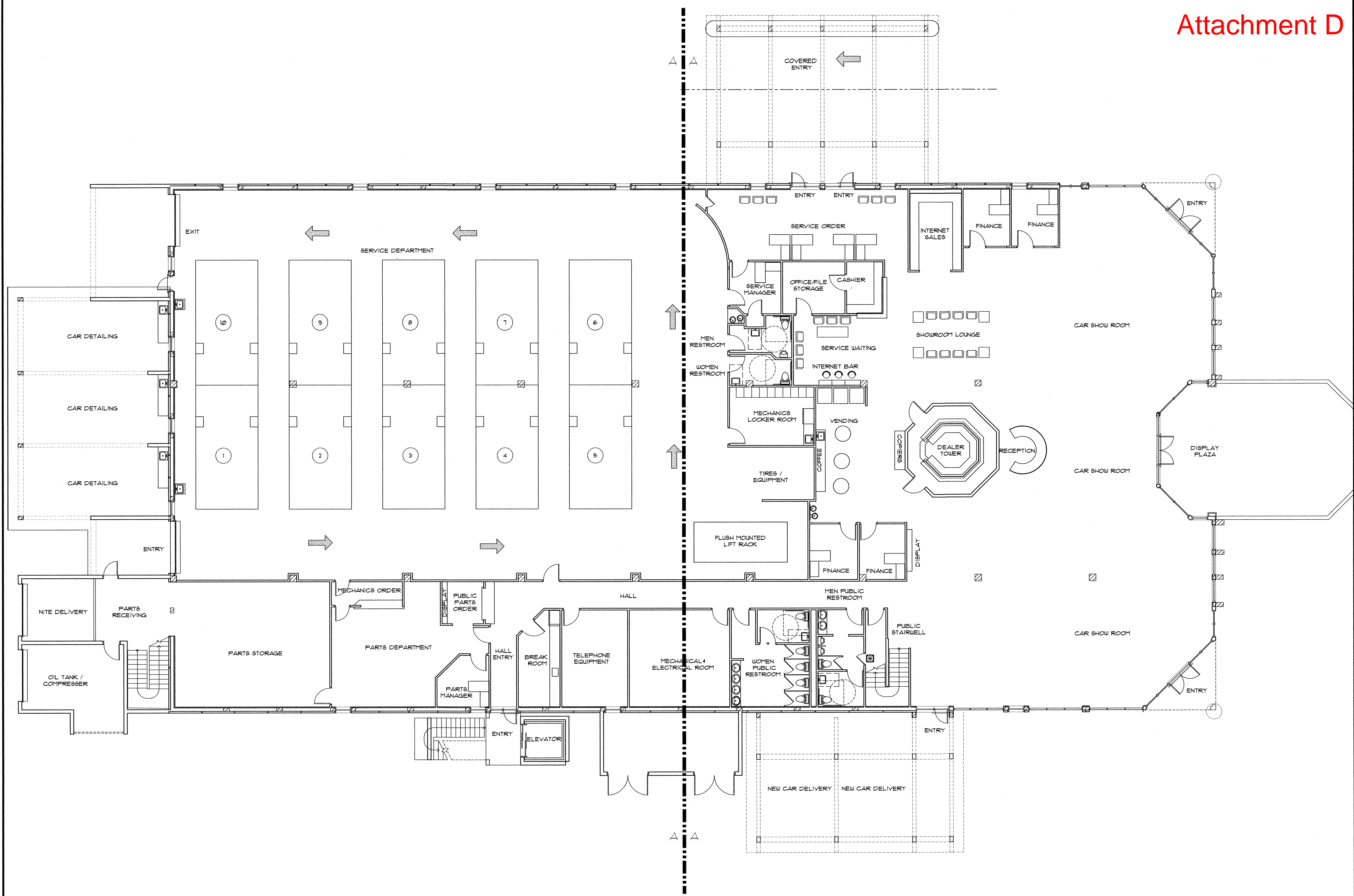
STANLEY P. HOELLE  
 ARCHITECT MAR0002933  
 1144 HIGHLAND DRIVE  
 DAYTONA BEACH, FLORIDA 32117

DATE: 02/12/17

DRAWN BY: DHEATH

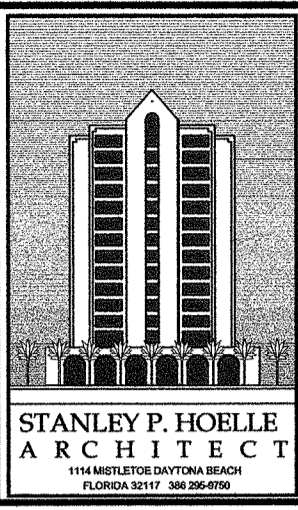
JOB NUMBER: 092816-13

**A2.2**  
 OF - SHEETS



**FLOOR PLAN - PROPOSED**  
 SCALE: 1/8" = 1'-0"

REVISION	BY



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**SECOND FLOOR PLAN  
DAYTONA MITSUBISHI**  
900 NORTH NOVA ROAD  
DAYTONA BEACH, FLORIDA, 32117

**SEAL**  
THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7-10 MINIMUM DESIGN LOADS FOR THE BUILDINGS AND STRUCTURES TO WITH STAND 50 MPH WIND RISK CATEGORY II PER FLORIDA BUILDING CODE 5th EDITION

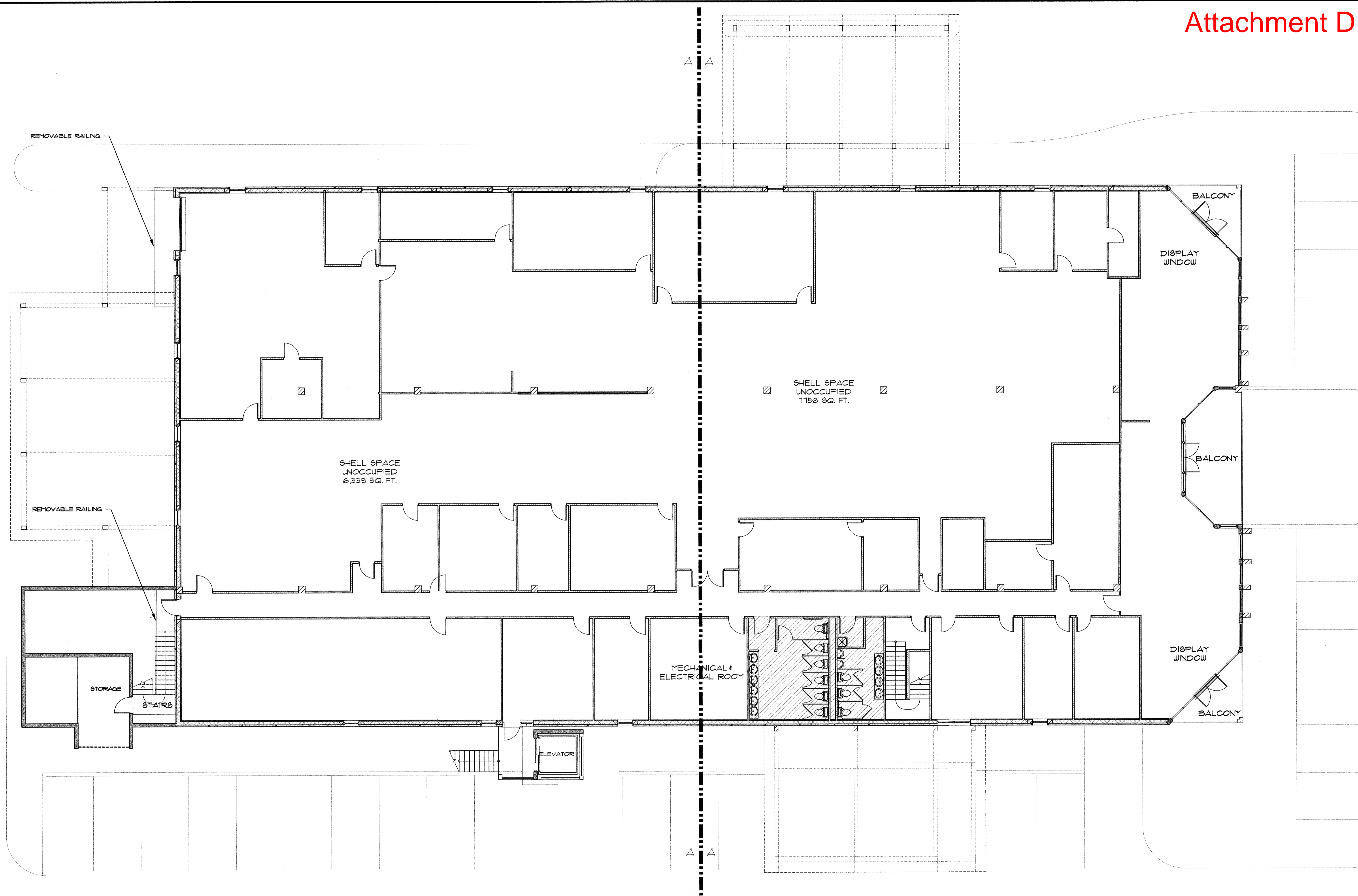
STANLEY P. HOELLE  
ARCHITECT MAR00000003  
114 HISLETOW DRIVE  
DAYTONA BEACH  
FLORIDA 32117

DATE:  
11/06/16

DRAWN BY:  
DHEATH

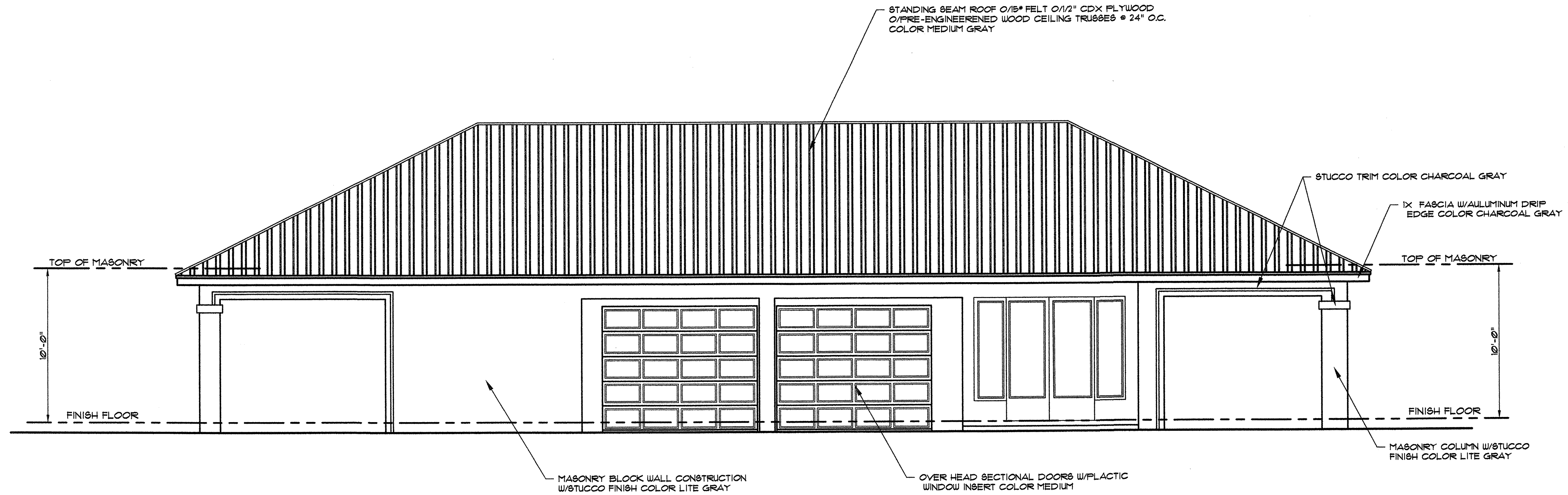
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092816-13

**A3.0**  
OF - SHEETS

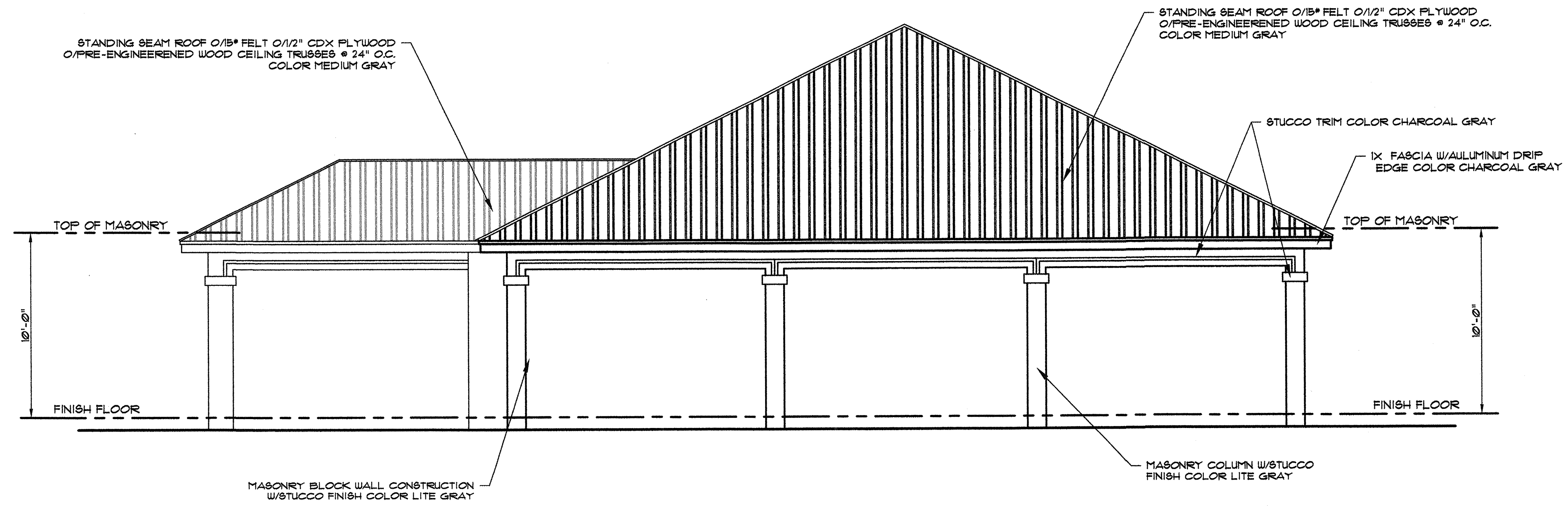


**SECOND FLOOR PLAN - PROPOSED**  
SCALE: 1/8" = 1'-0"



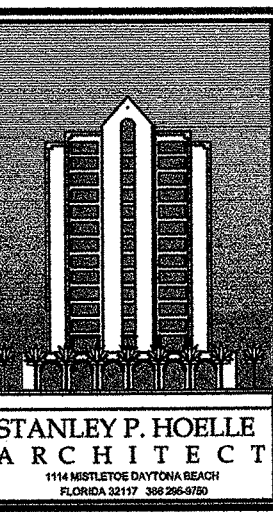


**ELEVATION: FRONT**  
SCALE: 1/4" = 1'-0"



**ELEVATION: LEFT SIDE**  
SCALE: 1/4" = 1'-0"

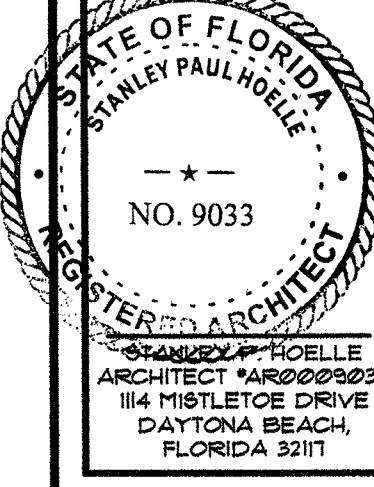
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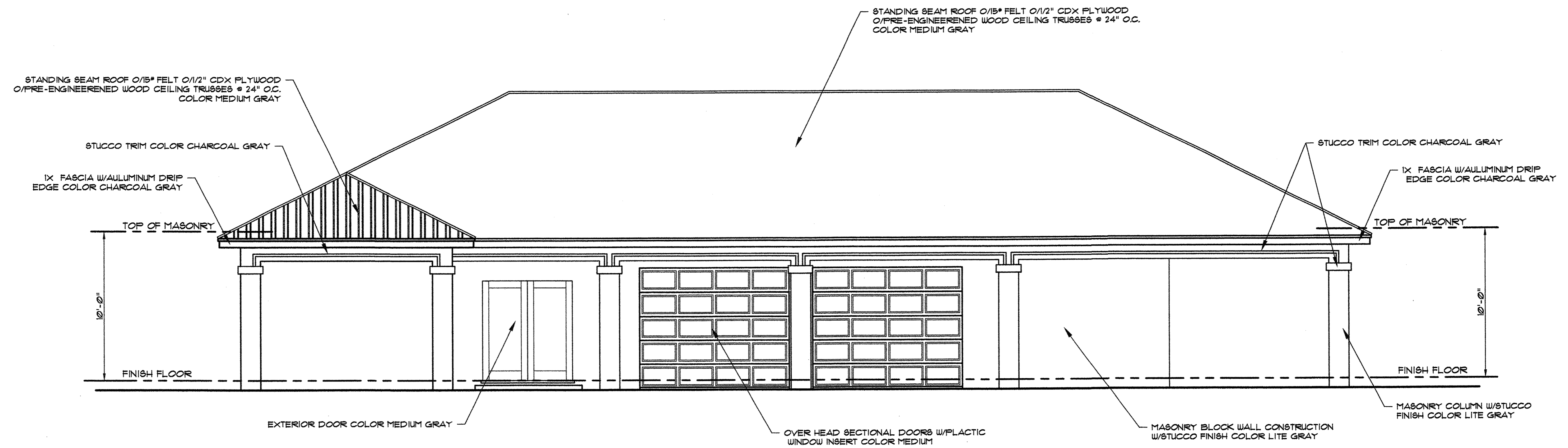
**ELEVATIONS CAR WASH**  
**DAYTONA MITSUBISHI**  
900 NORTH NOVA ROAD  
DAYTONA BEACH, FLORIDA, 32117

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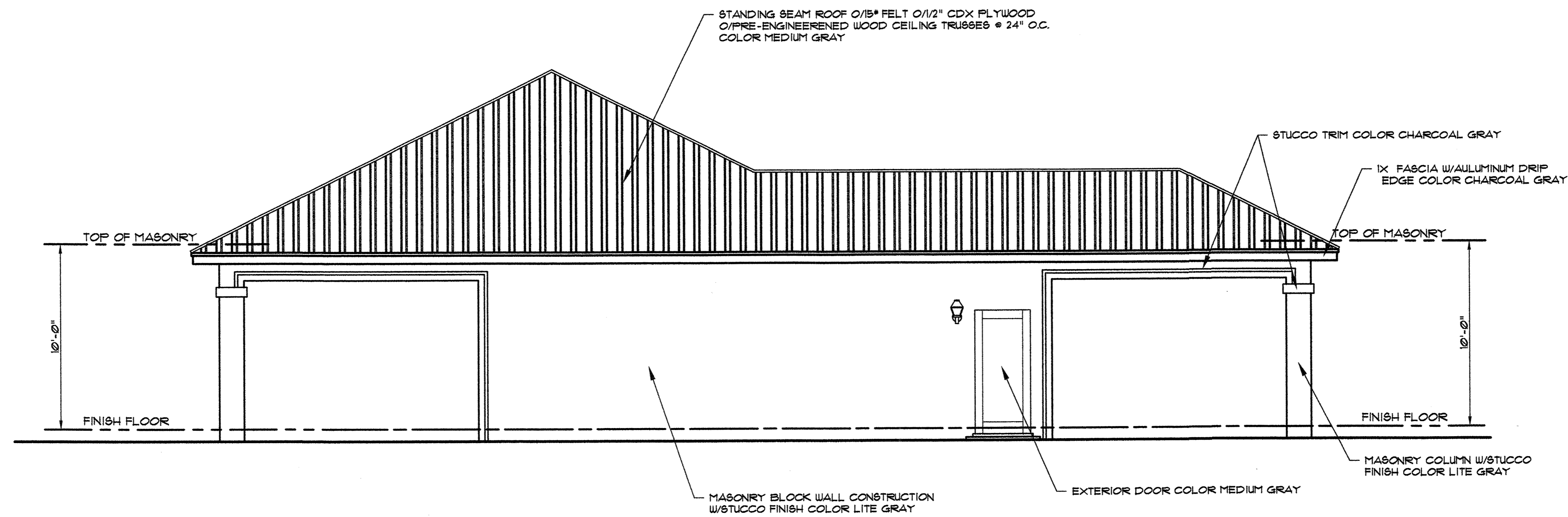


DATE: 02/12/17  
DRAWN BY: DHEATH

JOB NUMBER: 092816-13



**ELEVATION: REAR**  
SCALE: 1/4" = 1'-0"



**ELEVATION: RIGHT SIDE**  
SCALE: 1/4" = 1'-0"

REVISION	BY

STANLEY P. HOELLE  
ARCHITECT

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DAYTONA BEACH, FLORIDA, 32117

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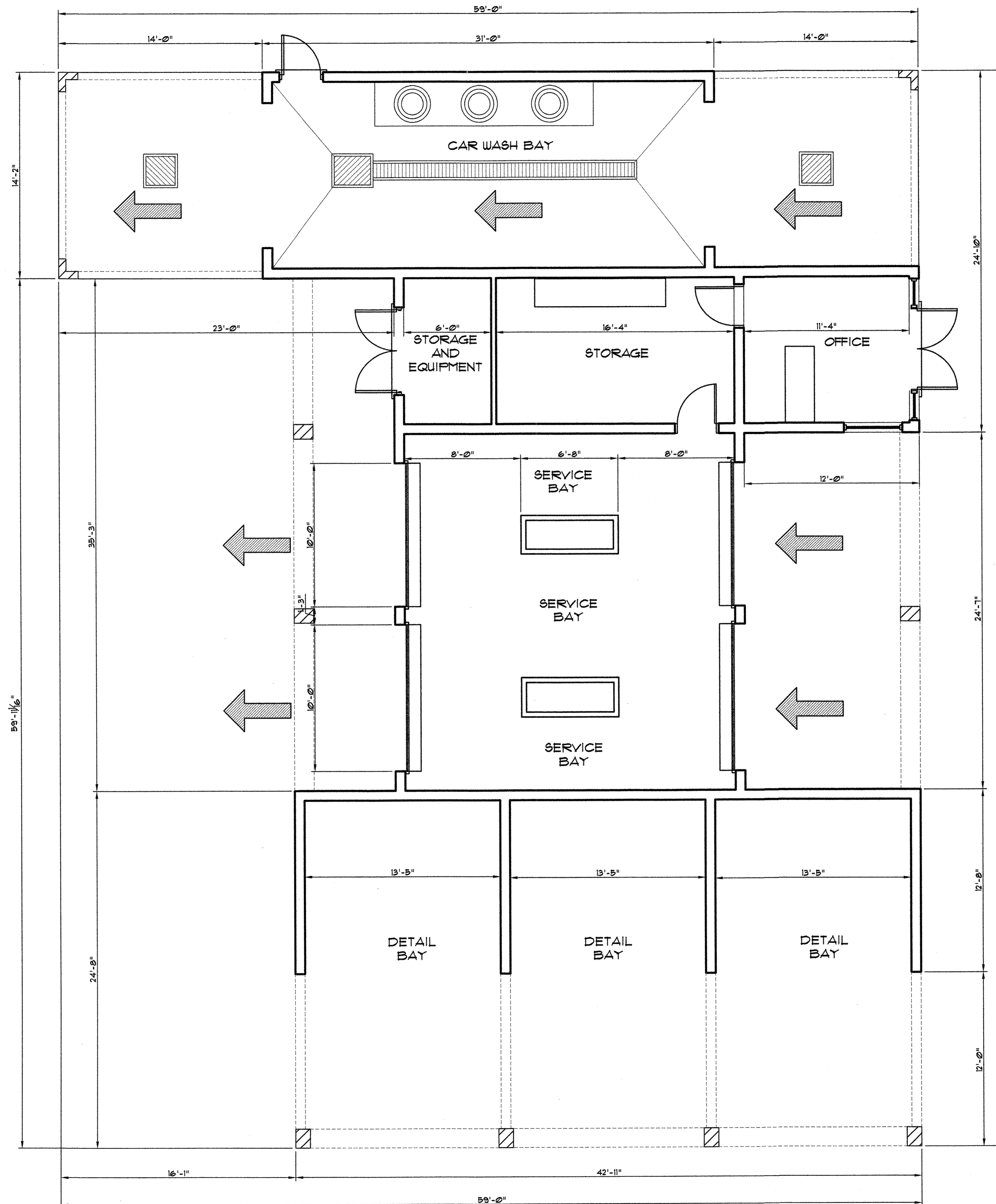
STATE OF FLORIDA  
STANLEY PAUL HOELLE  
REGISTERED ARCHITECT  
NO. 9033

STANLEY P. HOELLE  
ARCHITECT  
114 MISTLETOE DRIVE  
DAYTONA BEACH, FLORIDA 32117

DATE: 02/12/17

DRAWN BY: DHEATH

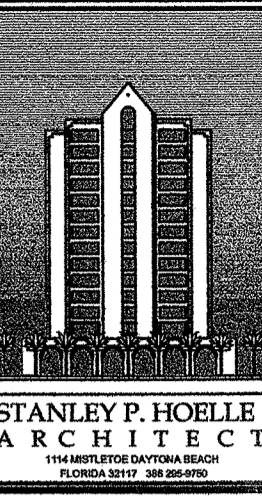
JOB NUMBER: 092816-13



FLOOR PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"

REVISION BY

REVISION	BY



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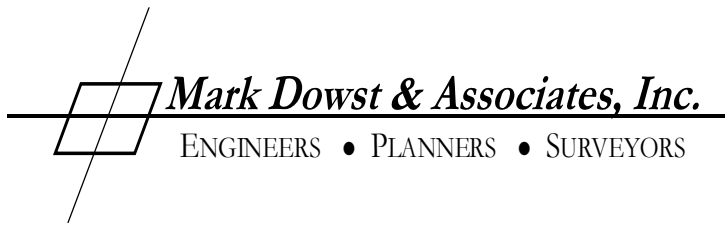
FLOOR PLAN - CAR WASH  
DAYTONA MITSUBISHI  
900 NORTH NOVA ROAD  
DAYTONA BEACH, FLORIDA, 32117

SEAL  
THIS STRUCTURE HAS BEEN DESIGNED USING ASCE 7-10 MINIMUM DESIGN LOADS FOR THE BUILDING AND STRUCTURES TO WITH STAND 50MPH WIND PER FLORIDA BUILDING CODE 84  
STATE OF FLORIDA  
STANLEY P. HOELLE  
ARCHITECT  
NO. 9083  
114 MISTLETOE DRIVE  
DAYTONA BEACH, FLORIDA 32117

DATE: 02/12/17

DRAWN BY: DHEATH

JOB NUMBER: 092816-13



January 12, 2017

Via Email: MrozekD@codb.us

Dennis Mrozek, AICP, LEED AP  
The City of Daytona Beach  
Planning & Development  
301 South Ridgewood Avenue, Room 240  
Daytona Beach, FL 32114

**RE: DEV2016-129 - 900 N. Nova Road Rezoning – Summary of Neighborhood Meeting  
MDA #1366**

Dear Mr. Mrozek:

This letter is to summarize the neighborhood meeting which was held on Thursday, January 5, 2017 at 6pm in the parking lot of 900 N. Nova Road, Daytona Beach, FL 32117. The property was posted with two (2) fluorescent yellow placards thirteen (13) days prior to the meeting. Mail notifications were mailed first class fourteen (14) days prior. No residents came to the meeting therefore no comments were received.

Sincerely,

**MARK DOWST & ASSOCIATES, INC.**

Mark S. Dowst, P.E.  
President

msd/ac

**AFFIDAVIT OF COMPLIANCE  
WITH PUBLIC NOTICE REQUIREMENTS  
CITY OF DAYTONA BEACH, FLORIDA**

I, the undersigned, hereby certify that I have mailed to the following named property owners whose property is within 300 feet of that property which is the subject of an application for a public hearing pursuant to the Land Development Code of the City of Daytona Beach, Florida, a notice containing the time, date, and purpose of the public hearing and address of the subject property, along with a location map.

**The notices were sent at least ten (10) days prior to the meeting date and a copy of that letter and the Volusia County Property Appraiser's address list are attached.**


**The placards were posted on the affected property, visible from each adjoining right-of-way, at least ten (10) days before the scheduled public hearing.**

This form must be received no later than seven (7) days prior to the hearing.

The names and addresses of the following property owners were obtained from the Volusia County Property Appraiser's Office on the 15th day of December, 2016. See attached list.

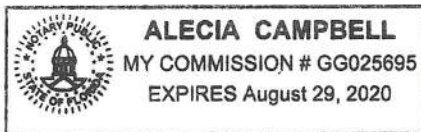
Case Number DEV2016-129

Hearing Dates: Planning Board 1/26/17; City Commission 1<sup>st</sup> Reading 03/01/17; 2<sup>nd</sup> Reading 03/15/17.

  
**Mark S. Dowst, P.E., President**  
Mark Dowst & Associates, Inc.  
536 N. Halifax Ave., Suite 100  
Daytona Beach, Florida 32118  
(386) 258-7999

**STATE OF FLORIDA  
COUNTY OF VOLUSIA**

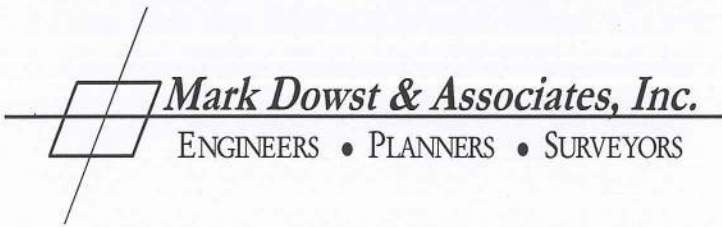
The foregoing instrument was acknowledged before me this 3<sup>rd</sup> day of February 2017 by Mark S. Dowst who is personally known to me.



NOTARY PUBLIC:

Signed: Alecia Campbell

Print: Alecia Campbell



December 22, 2016

**INVITATION TO NEIGHBORHOOD MEETING**

Dear Neighbor:

Mark Dowst & Associates, Inc. has the pleasure of representing Allen Morris, vice president of Hammond Venture, Inc., the general partner of RLC, Ltd., a Florida Limited Partnership, the owners of the 4.29+/- acre property located at 900 N. Nova Road, as shown on the attached map. The subject property contains both RP (Residential/Professional) and BA (Business Automotive) zoning and the owners would like to rezone the RP portion to BA.

As neighbors of the proposed rezoning, we would like to invite you to discuss the project on **Thursday, January 5, 2017 at 6:00 p.m.** in the parking lot of 900 N. Nova Road, Daytona Beach, FL 32117.

We look forward to seeing you at this meeting if you are interested in discussing this project.

Very truly yours,

**MARK DOWST & ASSOCIATES, INC.**



Mark S. Dowst, P.E.  
President

msd/ac

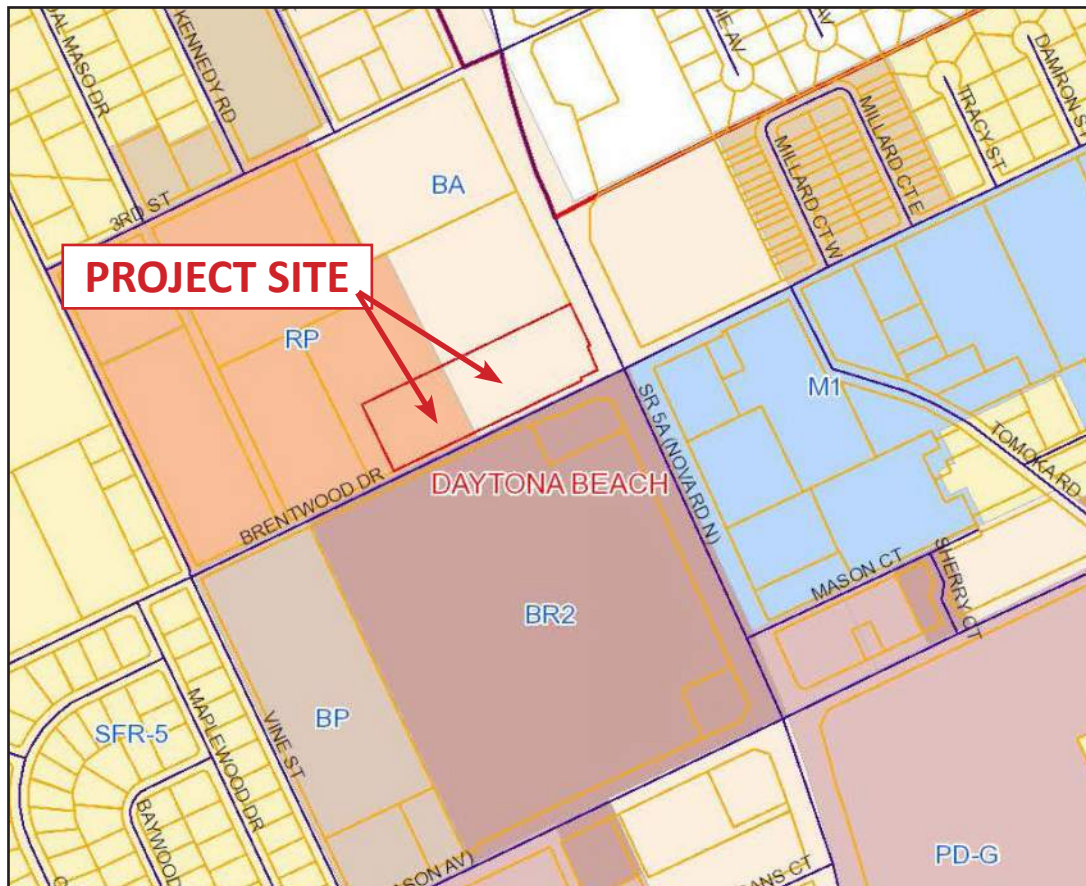
cc: Mr. Dennis L. Mrozek, Principal Planner for The City of Daytona Beach

## Neighborhood Meeting

January 5, 2017 at 6:00 p.m.  
900 N. Nova Road, Daytona Beach, FL 32117  
(386) 258-7999

Dear Sir/Madam:

You are invited to a neighborhood meeting regarding a request by Mark Dowst & Associates, Inc. on behalf of Allen Morris, vice president of Hammond Venture, Inc., the general partner of RLC, Ltd., a Florida Limited Partnership to rezone 900 N. Nova Road, Daytona Beach, from both RP (Residential/Professional) and BA (Business Automotive) zones to solely BA.



The meeting is being held to allow interested persons to listen to an overview of the project and ask questions. The neighborhood meeting will be held at the project location, 900 N. Nova Road, Daytona Beach on **Thursday, January 5, 2017 at 6:00 p.m.**

Please feel free to contact Mark Dowst by phone at (386) 258-7999 or email at [mdowst@mdaeng.com](mailto:mdowst@mdaeng.com) should you have any questions. Thank you.



DISCLAIMER: Surrounding Owners Request Prepared by Volusia County Property Appraisers Office

s16140

The Volusia County Property Appraiser and staff are constantly working to provide and publish the most current and accurate information possible. No warranties, expressed or implied are provided for the data herein, its use, or its interpretation.

STATE OF FLORIDA, VOLUSIA COUNTY  
I HEREBY CERTIFY the following is a true copy of the records of this office. This

15 day of Dec A.D. 2016

Morgan B. Glireath, Jr., Property Appraiser

By: *[Signature]*  
Chief Deputy Property Appraiser

Additionally, the Appraiser's data is not as current as the Clerk of the Court data causing mismatches - which are beyond our control

Again, one must remember that the primary use of the assessment data contained is for the preparation of the current year tax roll.

No responsibility or liability is assumed for inaccuracies or errors.

Please govern yourself accordingly.

Parcel Number of Subject Property: 4244-01-30-0052 - 300' Radius - Mark Dowst & Associates, Inc. - 12/15/2016

PID	OWNER_NAME	OWNER_ADDR_1	OWNER_ADDR_2	OWNER_ADDR_3	ZIPCODE
424401300041	JON HALL CHEVROLET INC	<Null>	551 N NOVA RD	DAYTONA BEACH FL	32114
424401300052	REALTY LEASING CORP OF GEORGIA	C/O THE ALLEN MORRIS CO	121 ALHAMBRA PLAZA/PH 1 1600	CORAL GABLES FL	33134
424401300053	NORTHPORT HEALTH SVCS FL LLC	<Null>	931 FAIRFAX PARK	TUSCALOOSA AL	35406
424401300054	GT DAYTONA LLC	<Null>	932 N NOVA RD	DAYTONA BEACH FL	32117-4122
424401330056	DAYTONA PETRO LLC	<Null>	380 COMMERCE PARKWAY	ROCKLEDGE FL	32955
424401300063	GT DAYTONA LLC	<Null>	932 N NOVA RD	DAYTONA BEACH FL	32117-4122
424401330067	HOLLY HILL PLAZA LLC	C/O BRUCE STRUMPF IN	2120 DREW ST	CLEARWATER FL	33765
424401330068	TZADIK EAGLE PARK LLC	<Null>	11098 BISCAYNE BLVD STE 203	MIAMI FL	33161
424401330074	HOLLY HILL PLAZA LLC	C/O BRUCE STRUMPF IN	2120 DREW ST	CLEARWATER FL	33765



**NEIGHBORHOOD MEETING NOTICE**

A NEIGHBORHOOD MEETING HAS BEEN SCHEDULED ON

Jan 5<sup>th</sup> AT 6pm TO INTRODUCE THE

FOLLOWING APPLICATION FOR THIS PROPERTY:

900 N. NOVA RD. REZONING

THE MEETING WILL BE HELD AT THE FOLLOWING LOCATION:

900 N. NOVA Rd.

INTERESTED PARTIES CAN CONTACT Mark Dowst PE.

AT (386) 258-7999 FOR FURTHER INFORMATION.





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