

Document prepared by:  
Robert A. Merrell III, Esquire  
Cobb Cole  
149 S. Ridgewood Avenue, Suite 700  
Daytona Beach, FL 32114

Return recorded document to:  
City of Daytona Beach Records Clerk  
P.O. Box 2451  
Daytona Beach, FL 32115-2451

**HENDRICK HONDA DAYTONA  
PLANNED DISTRICT AGREEMENT**

The CITY OF DAYTONA BEACH, FLORIDA, a Florida municipal corporation located in Volusia County, Florida ("City" and "Owner"), and HDBF, LLC, a Florida limited liability company, the record title property owner ("Owner"), hereby agree and covenant, and bind their heirs, successors, and assigns, as follows:

**1. PROPERTY DESCRIPTION AND OWNERSHIP.**

A. The property subject to this Agreement consists of approximately 6+/- acres of real property ("Property") and is described in Exhibit "A" attached hereto and by reference made a part hereof. Part of the property included in this Agreement was previously included in the Jon Hall Honda Addition Planned Development Agreement. This Agreement adds property and supersedes and repeals the provisions of the Jon Hall Honda Addition Planned Development Agreement recorded January 30, 1998, recorded at Official Records Book 4272, Page 3594, Public Records of Volusia County, Florida.

B. The Property is under the sole ownership of Owners.

**2. EXHIBITS.**

The Exhibits listed below are by reference made a part hereof, and copies or reduced size copies are attached hereto. Full-sized copies of the Exhibits shall be retained by the City Clerk and shall be controlling in case of any ambiguity in the Exhibits. In the event of a conflict between the graphic illustrations of any Exhibit and the textual provisions of this Agreement, the textual provisions shall control.

Exhibit A: Property legal description, survey.

Exhibit B: Site Plan, rev. date 11/09/2016, prepared by RedLine Design Group,

Exhibit C: Architectural Elevations, a new service area is proposed. All other existing buildings to remain "As Is"

Exhibit D: Landscape Plan, rev. date 12/01/2016, prepared by Zev Cohen & Associates, Inc. applicable to the Additional Property shown on Survey A-2.,

Exhibit E: Sign Plan, rev. date 08/29/2016, prepared by Pattison Sign Group, Inc.,

### 3. DEVELOPMENT PLAN.

A. Developer has designated the Property as "**Hendrick Honda Daytona PD**".

B. The Property will be further developed as a **Planned Development – General (PD-G)** pursuant to the City's Land Development Code (LDC). Development shall be controlled by the LDC and the terms and provisions of this Agreement. In the event of a conflict between this Agreement and the LDC or other ordinances, this Agreement shall control. If this Agreement fails to address a particular subject or requirement, the applicable requirements of the LDC or other City ordinance in effect at the time of development plan approval shall control.

C. Development of the Property shall be consistent with Exhibit B (Site Plan). Exhibit B generally depicts the existing and planned layout of buildings, parking areas, driveways, common areas, and other planned features or improvements to the Property.

D. **ADDITIONAL LOT DEVELOPMENT CRITERIA.** The following lot development criteria shall apply to the Property:

- (1) Maximum building height of 35 feet;
- (2) Maximum individual building size of 6,500 sq. ft.
- (3) Setbacks: side 20 ft.; front 35 ft.; rear 15 ft.
- (4) 30% Maximum building coverage;
- (5) 25% Minimum open space;
- (6) 60% Maximum impervious surface area;
- (7) Maximum density N/A (du/ac)
- (8) Slopes within any dry retention pond(s) shall be 4:1 without a fence;
- (9) Dry retention pond(s) shall count toward open space requirements; and
- (10) The existing landscape plan along Nova Road shall be maintained "As Is".

### 4. CONFORMANCE WITH COMPREHENSIVE PLAN; CONCURRENCY; PERMITS.

A. The City has determined that the Property is suitable in size, location, and character for the uses proposed, and that the uses proposed are consistent with the City's comprehensive plan.

B. Developer shall be responsible for obtaining all development permits required by the LDC and applicable federal and state laws. Developer specifically acknowledges that approval of this Agreement does not constitute a Concurrency Certificate as required by the LDC, and that Developer will be required to separately obtain a Concurrency Certificate or, where applicable, to enter into proportionate fair share agreement. Approval of this agreement and exhibits is not a permit to begin clearing, to begin site work, or to begin construction without necessary permits.

C. The City agrees to issue the required permits for development of the Property in the manner set forth in this Agreement and the LDC.

**5. PERMITTED USES.**

The following uses are permitted within the Property:

- Automotive parts sales and installation
- Automotive Sales
- Automotive wrecker service
- Business services offices
- Car wash or auto detailing
- Fleet service repair
- Other office facility
- Professional services offices
- Sales or rental of heavy recreation vehicles, and trailers
- Sales or rental of light vehicles and light recreation vehicles
- Tire sales and mounting
- Vehicle repair and servicing

**6. INFRASTRUCTURE.**

A. An on-site stormwater retention facility will be constructed in conjunction with the development. The stormwater retention facility will be maintained at a level consistent with the standards of the St. Johns River Water Management District. Collection and transmission facilities shall be located pursuant to the approved site plan, or site plans approved for individual lots or structures.

**7. PROPERTY OWNERS' ASSOCIATION AND COMMON AREA MAINTENANCE.**

**There will be no common areas in the development.**

## 8. ARCHITECTURAL AND DESIGN STANDARDS.

A. All buildings and accessory structures constructed within the Property shall be developed in compliance with the requirements of this section, and with the applicable provisions of the LDC relating to architectural standards where they do not conflict with the provisions of this section.

B. All of the following requirements shall be met within the Property:

(1) All buildings and accessory structures shall be consistent with a common architectural theme. The theme shall be established by harmoniously coordinating the general appearance of all buildings and accessory structures, including but not limited to: exterior wall finishes or materials; roof styles, slopes, and materials; colors; and architectural details and ornamentation.

(2) All structures shall complement one another and shall convey a sense of quality and permanence. Lower grade materials, such as unfinished concrete and pre-fabricated metal, shall be prohibited.

(3) Corporate prototype design and materials shall be permitted as currently provided on the site and new construction as shown on Exhibit "C". .

(4) False or real windows shall be provided on all elevations visible from public right of way in sufficient size and number to complement the proportions of the building.

(5) All buildings and accessory structures shall generally be consistent with the Exhibit C (Architectural Elevations) unless, prior to issuance of the initial building permit, Developer submits and the City approves a different conceptual elevation. The City shall have the right to reject any proposed elevation which does not meet the requirements herein, or which involves the use of fewer architectural details and ornamentation than are set forth in Exhibit C.

(6) Through the LDC site plan review process, the City reserves the right to review the proposed construction of all buildings and structures, to recommend the substitution or inclusion of colors, materials, architectural details, and ornamentation, and to require or prohibit the use of the same to ensure compliance with the requirements of this section.

(7) No outside display or storage shall be permitted.

(8) No vending machines shall be permitted on outside walkways or other outdoor pedestrian areas.

(9) The physical appearance of all parking lot lighting fixtures shall be consistent.

**9. ENVIRONMENTAL CONSIDERATIONS.**

Development of the Property shall comply with the LDC tree preservation requirements. Developer shall comply with all rules, statutes, and regulations pertaining to protected wildlife species, including but not limited to the rules and permitting requirements of the Florida Game and Freshwater Fish Commission concerning gopher tortoises.

**10. SIGNAGE.**

The PD shall have a uniform sign program, as depicted and located per Exhibit E, Sign Plan, attached hereto.

**11. EFFECTIVE DATE; COMPLETION SCHEDULE.**

A. This Agreement shall be effective upon execution by all parties. The restrictions on use and development imposed by this Agreement shall be binding upon all successors in interest in the Property, unless and until the City alters or eliminates such restrictions in the course of its actions as zoning authority.

B. Application shall be submitted for all construction permits for the development within 18 months of the approval of this Agreement by the City Commission. The filing of an appeal of the land development order by any person shall toll the time for permitting until final resolution of the appeal.

C. Construction shall be substantially complete within 5 years of the approval of this Agreement.

D. One 12-month extension of the scheduled application or completion dates may be permitted as a minor modification to this Agreement.

E. Failure to comply with the schedule set out above shall cause the development rights granted pursuant to this Agreement to lapse.

**12. MINOR MODIFICATIONS.**

A. The following may be administratively authorized as minor modifications to this Agreement:

(1) Amendments to an Exhibit that are necessary for compliance with the provisions of this Agreement, the LDC, or extra-jurisdictional permitting requirements, and

address technical considerations that could not reasonably be anticipated during the Planned Development approval process;

(2) Have no material effect on the character of the approved PD district, the basic concept and terms of the PD Plan/Agreement. These may include, but are not limited to, the following:

- a) Structural alterations that do not significantly affect the basic size, form, style, and appearance of principal structures;
- b) Minor changes in the location and configuration of streets and driveways that do not adversely affect vehicular access and circulation on or off the site;
- c) Minor changes in the location or configuration of buildings, parking areas, landscaping, or other site features;
- d) Minor changes in the location and configuration of public infrastructure facilities that do not have a significant impact on the City's utility and stormwater management systems;
- e) Increases of five percent or less in the total number of parking spaces.

(3) Modifications of up to 20% to any of the lot dimensional requirements and associated Exhibit revisions, where such modifications are necessary to address minor Exhibit errors or unanticipated conditions that reasonably need to be addressed to ensure the development plan can be implemented, EXCEPT:

- a) Modifications, such as to floor area ratios, that increase intensity or density of the entire project or any phase by more than 2%;
- b) Modifications that increase building height or decrease setbacks, yards, or landscaping along the perimeter of the Property by more than 10%;
- c) Modifications that, when combined with previously approved minor modifications, would result in a cumulative change of more than 20% of the original requirement for the area in question; and
- d) Modifications that would unduly impact City-owned public utilities.

B. Requests for minor modifications shall be submitted in writing on forms provided by the City. Requests shall be reviewed pursuant to the general technical review process described in the LDC.

C. Denial of a requested minor modification shall be issued in writing to the applicant. Upon denial, or if more than 60 days elapses after the submittal of a completed application without a decision by the City, the applicant may apply for an amendment to the agreement.

D. Approved modifications shall be noted on the official plan documents.

**13. AMENDMENTS.**

A. Any revision to this Agreement other than a minor modification as described above shall require an amendment approved by the City Commission after review and recommendation by the Planning Board. Requests for an amendment must be submitted in writing and, except as otherwise provided herein, shall be processed in accordance with the LDC. Notice of public hearings shall be provided as if the application is one to rezone property.

**14. VARIANCES.**

This Agreement shall not be deemed to prohibit any owner of property within the planned development from seeking or obtaining one or more variances from the requirements of this Agreement pursuant to the LDC. In addition to those entitled to notice pursuant to the LDC, notice of any public hearing to consider a proposed variance shall be provided to all persons owning property within the planned development. No such variance shall be deemed to require formal amendment to this Agreement.

**15. POLICE POWER AND SOVEREIGN IMMUNITY NOT WAIVED.**

Nothing contained in this Agreement shall be construed as a waiver of or contract with respect to the regulatory and permitting authority of the City as it now or hereafter exists under applicable laws, rules, and regulations. Further, nothing contained in this Agreement shall be construed as a waiver of or attempted waiver by the City of its sovereign immunity under the constitution and laws of the State of Florida.

**16. COMPLETE AGREEMENT; AGREEMENT TO BE RECORDED.**

A. This Agreement represents the complete understanding by and between the parties with respect to the development and use of the Property. Any and all prior agreements between the parties with respect to any subject comprehended by this Agreement is hereby voided and superseded by this Agreement.

B. This Agreement shall be recorded in the Public Records of Volusia County, Florida, at Developer's expense. The restrictions on use and development imposed by this Agreement shall be binding upon all successors in interest in the Property.

**17. VENUE AND SEVERABILITY.**

A. In the event of any claim, action, litigation, or proceeding under this Agreement, venue shall be in Volusia County, Florida.

B. If any provision of this Agreement is held by a court of competent jurisdiction to be invalid or otherwise unenforceable, such holding shall not affect the validity or enforceability of any other provision of this Agreement unless the holding so states.

**IN WITNESS WHEREOF**, the parties hereto attached their hands and seals on the dates set forth below.

**[Signature pages following]**



Signed, sealed and delivered in the presence of:

**THE CITY OF DAYTONA BEACH,  
FLORIDA, a Florida municipal corporation  
OWNER**

\_\_\_\_\_  
Witness 1

By: \_\_\_\_\_  
Derrick L. Henry, Mayor

\_\_\_\_\_  
Print Name of Witness 1

Attest:

\_\_\_\_\_  
Witness 2

By: \_\_\_\_\_  
Letitia LaMagna, City Clerk

\_\_\_\_\_  
Print Name of Witness 2

Date: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2017 by Derrick L. Henry and Letitia LaMagna, Mayor and City Clerk, respectively, of The City of Daytona Beach, Florida, a chartered municipal corporation, as Owner on behalf of the City. They are personally known to me and did not take an oath.

\_\_\_\_\_  
Notary Public  
Commission No: \_\_\_\_\_

Signed, sealed and delivered in the presence of:

**HDBF, LLC, a Florida limited liability company  
OWNER**

Brian Thomas

Witness 1

Brian Thomas

Print Name of Witness 1

By: A. Scott Ennis

Name: A. Scott Ennis

Title: Vice President

Kim Radulovich

Witness 2

Kim Radulovich

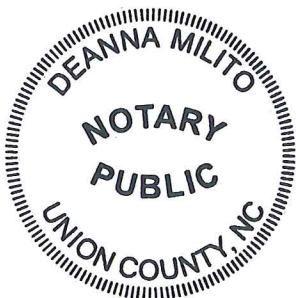
Print Name of Witness 2

Date: 5/2/2017

[Corporate Seal]

STATE OF FLORIDA  
COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this 2<sup>ND</sup> day of May, 2017, by A. SCOTT ENNIS as VICE PRESIDENT of HDBF, LLC, a Florida limited liability company, referred to in this agreement as "Owner." He or she is  personally known to me or  produced as identification and did not take an oath.



Deanna Milito

Notary Public

Commission No.                     

MY COMMISSION EXPIRES  
MARCH 22, 2019

Approved as to legal form:

By: Robert Jagger, City Attorney

**EXHIBIT A**

**Survey/Legal Description of the Property**

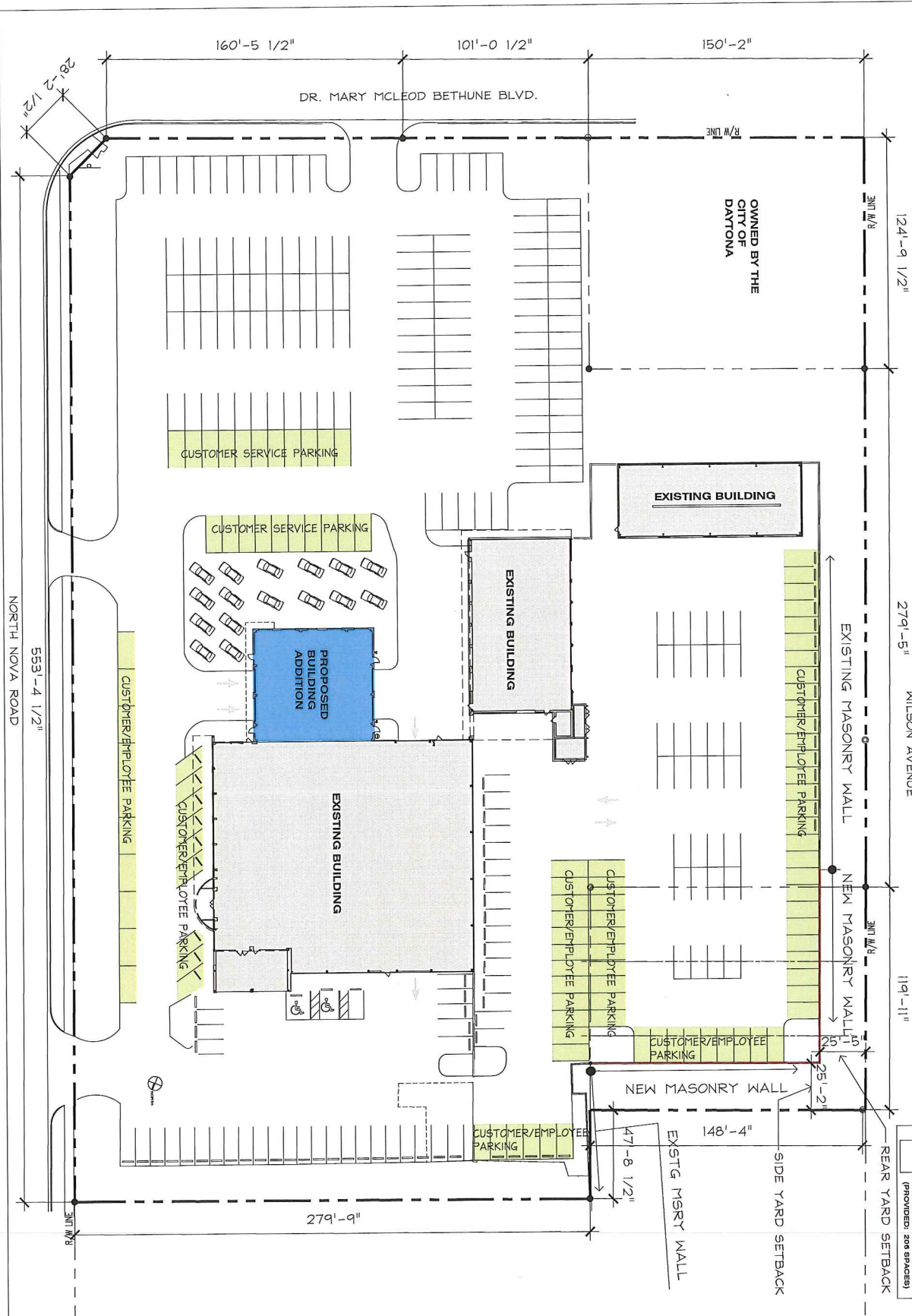
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**EXHIBIT B**

**Site Plan**

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**WILSON AVENUE MASONRY WALL NOTE:**  
 PROPOSED NEW MASONRY WALL (INDICATED RED) TO BE CONSTRUCTED TO MATCH EXISTING MASONRY WALL IN HEIGHT AND FINISH. EXISTING WALL TO BE CLEANED AND PAINTED. EXISTING WALL IS APPROXIMATELY 4'-6" IN HEIGHT AND IS CONSTRUCTED OF 8" CMU BLOCK WITH A STUCCO OR SYNTHETIC FINISH ON THE WILSON AVENUE FACE. SEE ALSO LANDSCAPE PLAN.

REQUIRED PARKING
TOTAL PARKING SPACES REQUIRED: 142
TOTAL PARKING SPACES PROVIDED: 321

SITE PLAN KEY
EXISTING BUILDING(S)
NEW ADDITION
CUSTOMER & EMPLOYEE WALL (PROVIDER: 115 SPACES)
CUSTOMER/EMPLOYEE PARKING (PROVIDER: 208 SPACES)

**REDLINE**  
 DESIGN GROUP

1023 W. WOODBURN BL.  
 DAYTONA, FL 32026  
 P. 384.337.2900  
 F. 384.337.2909  
 www.redline-dg.com



**HONDA CARS OF DAYTONA**  
 SHOWROOM, SERVICE AND PARTS BUILDING

330 N. NOVA RD.  
 DAYTONA, FL 32114

ISSUE	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	06/26/2014
	REVISIONS	11/20/2014

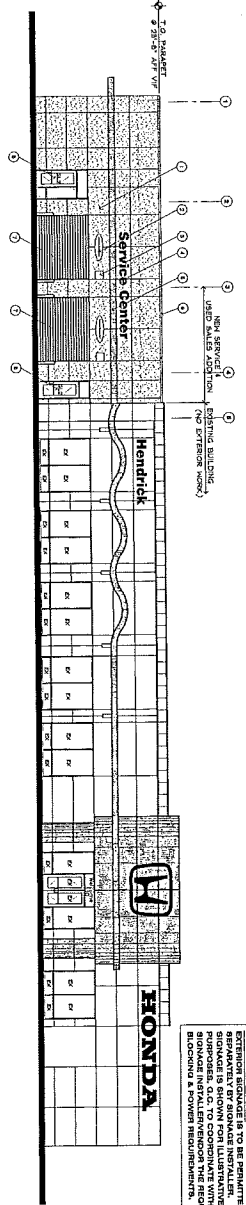
OWNERS PROJECT # HOB-SSP  
 ARCHITECT'S PROJECT # 11-121  
 SITE PLAN  
 SCALE: 1" = 20'-0"

AS1.2

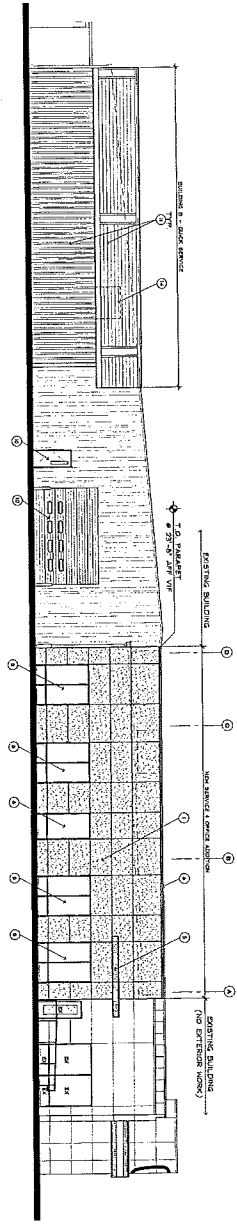
**EXHIBIT C**  
**Architectural Elevations**

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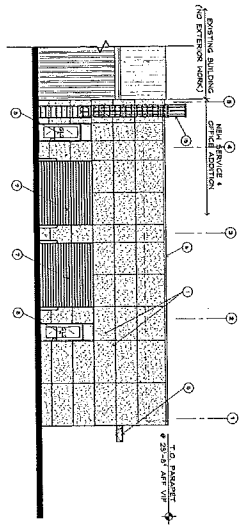
**STORAGE NOTE:**  
 EXTERIOR ELEVATIONS TO BE PROVIDED  
 SHOWN FOR ILLUSTRATIVE  
 PURPOSES ONLY. CONTRACTOR TO  
 PROVIDE FINAL ELEVATIONS THE REQUIRED  
 BLOCKING & PROVIDE RECOMMENDATIONS.



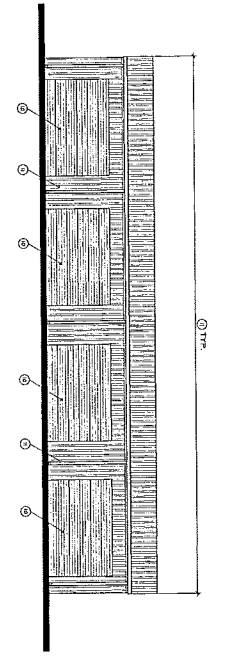
**1 BUILDING A - FRONT ELEVATION**  
 SCALE: 3/32" = 1'-0"



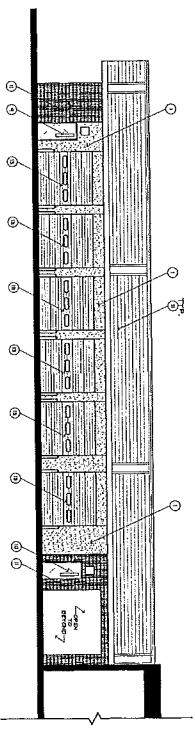
**2 BUILDING A - W ELEVATIONS**  
 SCALE: 3/32" = 1'-0"



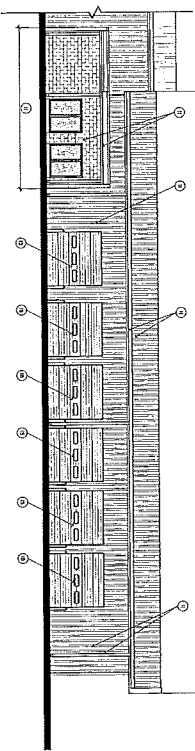
**3 BUILDING A - REAR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**4 BUILDING C - SERVICE BUILDING FRONT ELEVATION**  
 SCALE: 3/32" = 1'-0"



**5 BUILDING B - QUICK SERVICE FRONT ELEVATION**  
 SCALE: 3/32" = 1'-0"



**6 BUILDING B - QUICK SERVICE REAR ELEVATION**  
 SCALE: 3/32" = 1'-0"

**EXT. GENERAL NOTES:**

- 1 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE
- 2 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE
- 3 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE
- 4 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE
- 5 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE
- 6 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE
- 7 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE
- 8 ALL EXTERIOR WALLS SHALL BE 8" UNLESS NOTED OTHERWISE

**EXTERIOR KEY NOTES:**

- 1 EPS - SEE EXT. FINISH SCHEDULE
- 2 EPS - 1/2" DUAL WALL - 1/2" SOIL COMPACTED WITH SAND
- 3 EPS - 1/2" DUAL WALL - 1/2" SOIL COMPACTED WITH SAND
- 4 EPS - 1/2" DUAL WALL - 1/2" SOIL COMPACTED WITH SAND
- 5 EPS - 1/2" DUAL WALL - 1/2" SOIL COMPACTED WITH SAND
- 6 EPS - 1/2" DUAL WALL - 1/2" SOIL COMPACTED WITH SAND
- 7 EPS - 1/2" DUAL WALL - 1/2" SOIL COMPACTED WITH SAND
- 8 EPS - 1/2" DUAL WALL - 1/2" SOIL COMPACTED WITH SAND

**EXT. FINISH SCHEDULE**

ITEMS	DESCRIPTION	DATE
1	ALUMINUM STORMFRONT	07/25/13
2	ALUMINUM STORMFRONT	07/25/13
3	ALUMINUM STORMFRONT	07/25/13
4	ALUMINUM STORMFRONT	07/25/13
5	ALUMINUM STORMFRONT	07/25/13
6	ALUMINUM STORMFRONT	07/25/13
7	ALUMINUM STORMFRONT	07/25/13
8	ALUMINUM STORMFRONT	07/25/13
9	ALUMINUM STORMFRONT	07/25/13
10	ALUMINUM STORMFRONT	07/25/13

**REDLINE**  
 DESIGN GROUP

1230 W. Monroehood St.  
 Suite 310, NC 28208  
 Charlotte, NC 28208  
 P: 704.377.2890  
 F: 704.377.2890  
 www.redlinegroup.com



*[Signature]*  
 9-20-16

**HENDRICK HONDA**  
**OF DAYTONA**  
**SHOWROOM AND**  
**SERVICE BUILDINGS**

380 N. NOVA RD.  
 DAYTONA BEACH, FL 32114

ISSUE	DESCRIPTION	DATE
1	FOR CONSTRUCTION	07/25/13
2		
3		
4		
5		
6		
7		
8		
9		
10		

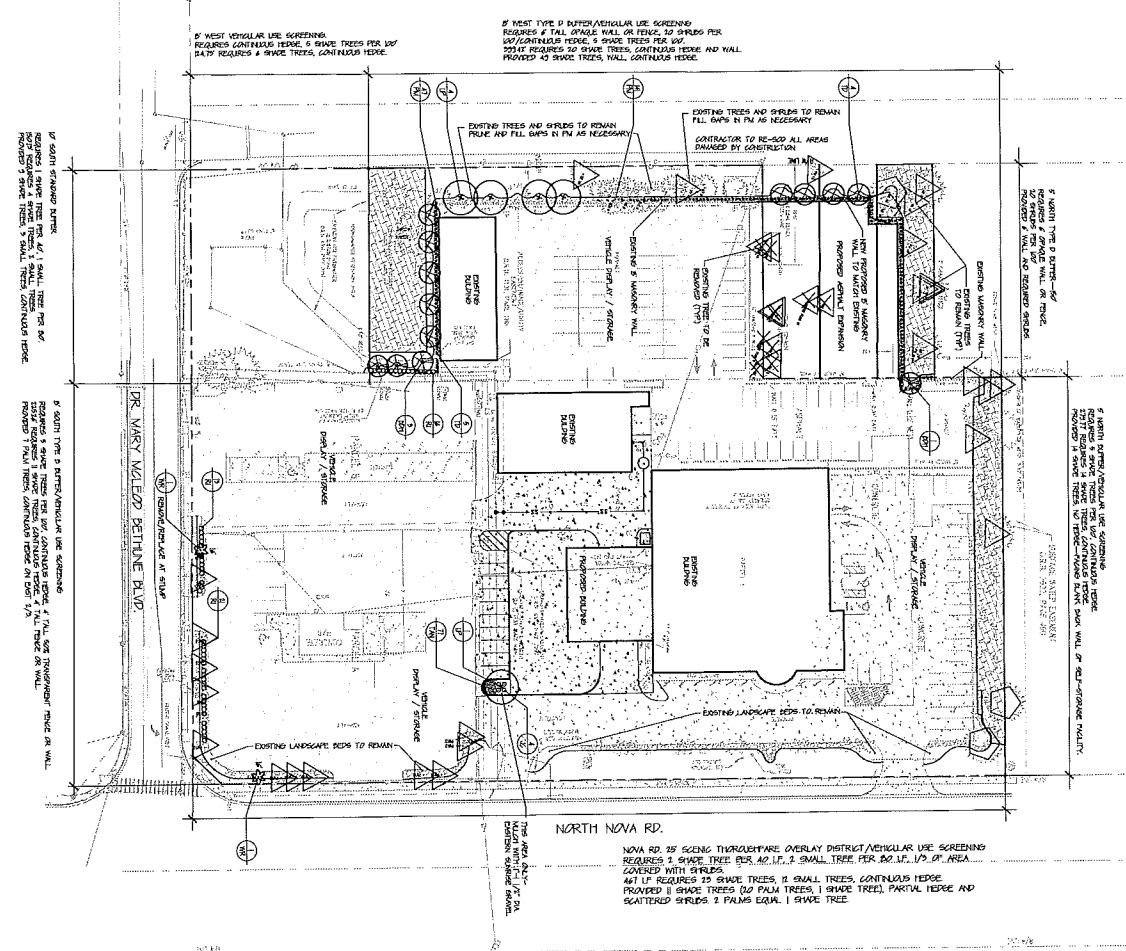
OWNERS PROJECT #  
 ARCHITECTS PROJECT #  
 HOB-GSP  
 11-121

EXTERIOR ELEVATION  
 SCALE: 3/32" = 1'-0"  
**A4.0**

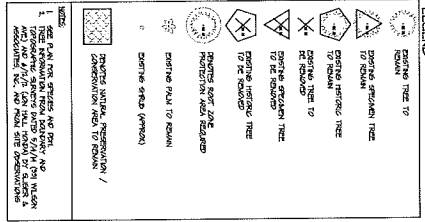


**EXHIBIT D**  
**Landscape Plan**

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NOVA RD. IS SCENIC THROUGHFARE OVERLAY DISTRICT METICULAR USE SCREENING  
 REQUIRES 3 SHADE TREES PER 100 SQ. FT. 2 SMALL TREES PER 100 SQ. FT. 1/2 OF AREA  
 COVERED WITH 5 TREES.  
 (A) IF REQUIRED 15 SHADE TREES (10 PALM TREES, 1 SHADE TREE), PARTIAL HEDGE AND  
 PROVED 10 SHADE TREES (10 PALM TREES, 1 SHADE TREE), SCATTERED SHRUBS 2 PALMS EQUAL 1 SHADE TREE



### PLANT SCHEDULE

NO.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE & SPACING
1	1	WASHINGTONIA ROBINIA	WASHINGTON PALM	SEE PLAN FOR 2 FT. 10'S. SPACING 100'S &
2	4	DELTA NISA BUNIF BARK-HOT	DOUGLASS PALM BUNCH	2 FT. 1/2 CAL. 10' FT.
3	2	TRAVIA SPINOSA	PALE SPINOSA	2 FT. 1/2 CAL. 10' FT.
4	1	SHRUBS GERANIOIDES AND VINES	SEE PLAN	SEE PLAN
5	1	SHRUBS JAPANESE WASHINGTONIA	SHADE PALM	3 CAL. 10' FT. X 8' SPAC. 10' FT. OC.
6	1	SHRUBS JAPANESE WASHINGTONIA	SHADE PALM	3 CAL. 10' FT. X 8' SPAC. 10' FT. OC.
7	1	SHRUBS JAPANESE WASHINGTONIA	SHADE PALM	3 CAL. 10' FT. X 8' SPAC. 10' FT. OC.
8	1	SHRUBS JAPANESE WASHINGTONIA	SHADE PALM	3 CAL. 10' FT. X 8' SPAC. 10' FT. OC.
9	1	SHRUBS JAPANESE WASHINGTONIA	SHADE PALM	3 CAL. 10' FT. X 8' SPAC. 10' FT. OC.
10	1	SHRUBS JAPANESE WASHINGTONIA	SHADE PALM	3 CAL. 10' FT. X 8' SPAC. 10' FT. OC.

### LEGEND

1. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

2. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

3. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

4. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

5. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

6. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

7. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

8. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

9. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

10. SEE PLAN FOR SCREENING AND OTHER REQUIREMENTS. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR. SCREENING SHALL BE PROVIDED BY THE CONTRACTOR.

### 75% NATURAL PRESERVATION

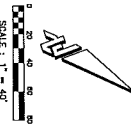
TOTAL AREA NATURAL PRESERVATION	75% NATURAL PRESERVATION
100 ACRES	75 ACRES
75%	75%
75%	75%
75%	75%
75%	75%
75%	75%
75%	75%
75%	75%
75%	75%
75%	75%


### MINI-TREE ON-SITE TREES

MINI-TREE SPECIES	MINI-TREE QUANTITY
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10

### SPECIMEN TREE CALCULATIONS

MINI-TREE SPECIES	MINI-TREE QUANTITY
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10
SHADE TREE	10



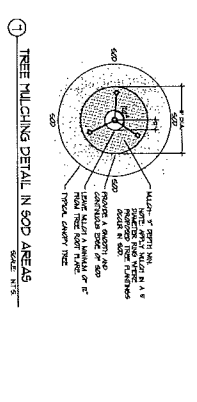
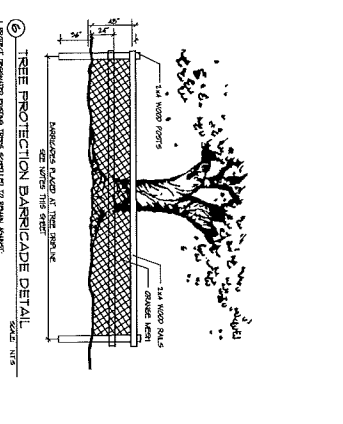
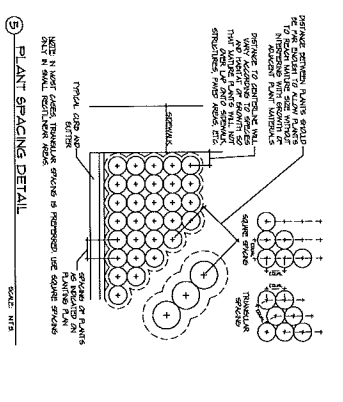
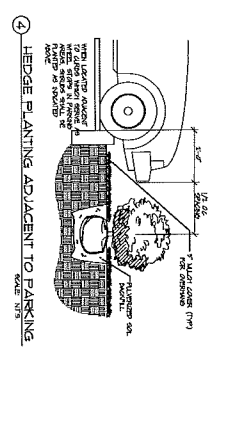
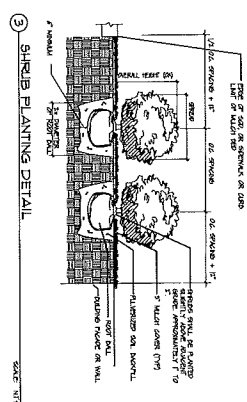
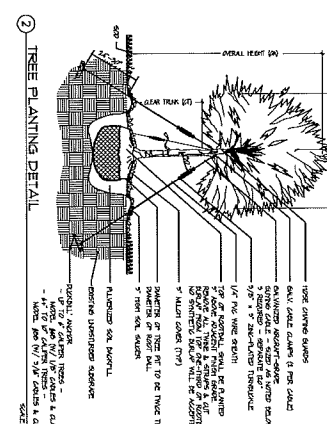
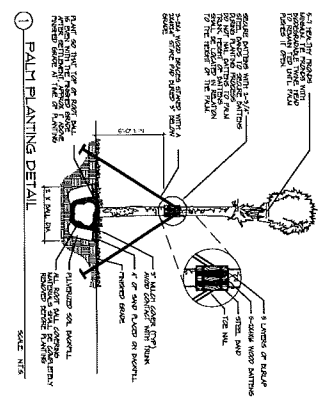
<p>NO. DATE REVISIONS</p>	<h2>HENDRICK HONDA OF DAYTONA</h2> <h3>FINAL ENGINEERING PLANS</h3> <h3>LANDSCAPE PLAN &amp; DETAILS</h3> <p>CITY OF DAYTONA BEACH VOLUHA COUNTY, FLORIDA</p>	<p>BY: _____</p> <p>DRMORD BEACH        300 INTERCHANGE BLVD. STE. C        DAYTONA BEACH, FL 32114        (386) 973-2492 FAX (386) 874-2555</p> <p>EDGEWATER        280 SW 8TH AVE.        DAYTONA BEACH, FL 32114        (386) 873-0468 FAX (386) 873-2550</p>	 <p><b>ZEV COHEN &amp; ASSOCIATES, INC.</b>        CIVIL ENGINEERS &amp; LANDSCAPE ARCHITECTS        200 W. UNIVERSITY AVENUE, SUITE 200        HALLANDER BEACH, FLORIDA 32119        WWW.ZEVCOHEN.COM</p>
<p>FOR REVIEW ONLY NOT FOR CONSTRUCTION</p>	<p>DATE: 11-20-16</p> <p>SCALE: 1" = 40'</p> <p>LAYOUT 2</p>		

**LANDSCAPE SPECIFICATIONS**

1. **GRASS:** ALL LAWN AREAS SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL LAWN AREAS.
2. **IRRIGATION:** THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MAINTAIN THE LAWN AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE IRRIGATION SYSTEM.
3. **PLANTING:** ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE LANDSCAPE PLAN. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL PLANTS.
4. **SOIL:** ALL SOIL SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL SOIL AREAS.
5. **PAVING:** ALL PAVING SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL PAVING AREAS.
6. **CONCRETE:** ALL CONCRETE SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL CONCRETE AREAS.
7. **WOOD:** ALL WOOD SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL WOOD AREAS.
8. **IRON:** ALL IRON SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL IRON AREAS.
9. **STEEL:** ALL STEEL SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL STEEL AREAS.
10. **GLASS:** ALL GLASS SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL GLASS AREAS.
11. **PAINT:** ALL PAINT SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL PAINT AREAS.
12. **FINISHES:** ALL FINISHES SHALL BE MAINTAINED IN EXCELLENT CONDITION AT ALL TIMES. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL FINISHES AREAS.
13. **GENERAL:** ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LANDSCAPE PLAN. THE MAINTENANCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL WORK.

**IRRIGATION NOTES**

1. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE LAWN AT ALL TIMES.



DEV2016-116



ORMOND BEACH  
100 INTERSTATE BLVD. STE. C  
ORMOND BEACH, FL 32137  
(386) 877-2442 FAX (386) 877-2505

EDGEWATER  
THE BARRIERS  
EDGEWATER, FL 32132  
(386) 671-2292 FAX (386) 671-2505

NO.	DATE	REVISIONS

**HENDRICK HONDA OF DAYTONA**  
FINAL ENGINEERING PLANS  
LANDSCAPE PLAN & DETAILS

CITY OF DAYTONA BEACH VOLUSIA COUNTY, FLORIDA

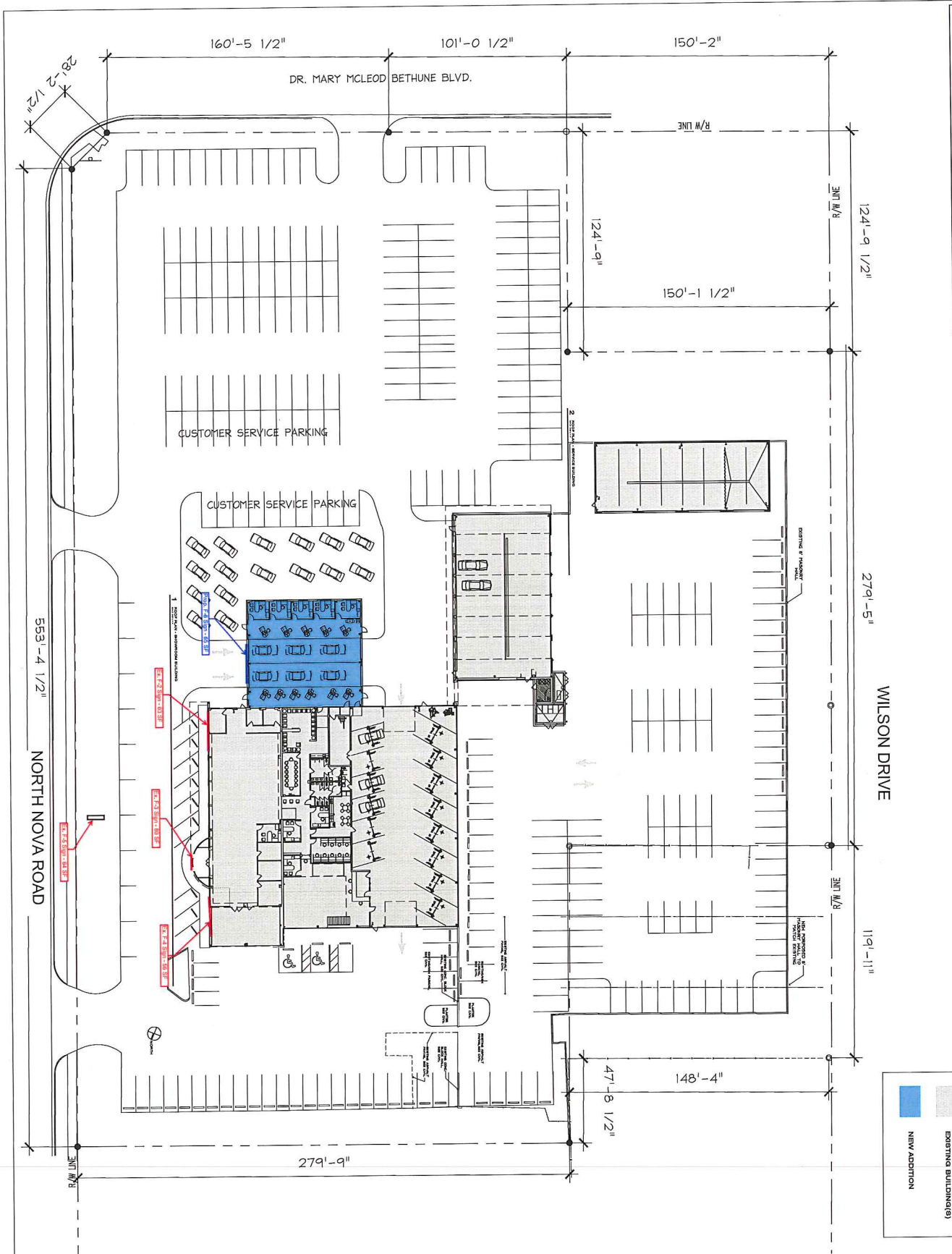
PROJECT NO.	10012000000000000000
DATE	08/11/2016
DESIGNED BY	SAH
CHECKED BY	SAH
DATE	08/11/2016
PROJECT NO.	10012000000000000000
DATE	08/11/2016
DESIGNED BY	SAH
CHECKED BY	SAH
DATE	08/11/2016

**EXHIBIT E**

**Sign Plan**

---

**Handrick Dayton Branch Sign Plan**  
 - Four existing signs are located on the property. The existing signs total 1 existing monument sign and 3 existing wall signs. (Signs shown in red)  
 - There is one proposed wall sign to be located on the building. (Sign shown in blue)



**SITE PLAN KEY**

	EXISTING BUILDING(S)
	NEW ADDITION

**REDLINE DESIGN GROUP**

1023 W. Riverhead II  
 Charlotte, NC 28208  
 P: 704.377.2990  
 F: 704.377.2991  
 www.redlinegroup.com



**HONDA CARS OF DAYTONA**  
 SHOWROOM, SERVICE AND PARTS DEPARTMENT

330 N. NOVA RD.  
 DAYTONA, FL 32114

ISSUE	DESCRIPTION	DATE
1	SITE PLAN	06.27.2016

OWNER'S PROJECT # HB-SSP  
 ARCHITECTS PROJECT # 11-121  
 SCALE: 1" = 20'-0"

**AS1.1**

F-2- Ex. "Hendrick"  
sign to remain - 63  
SF



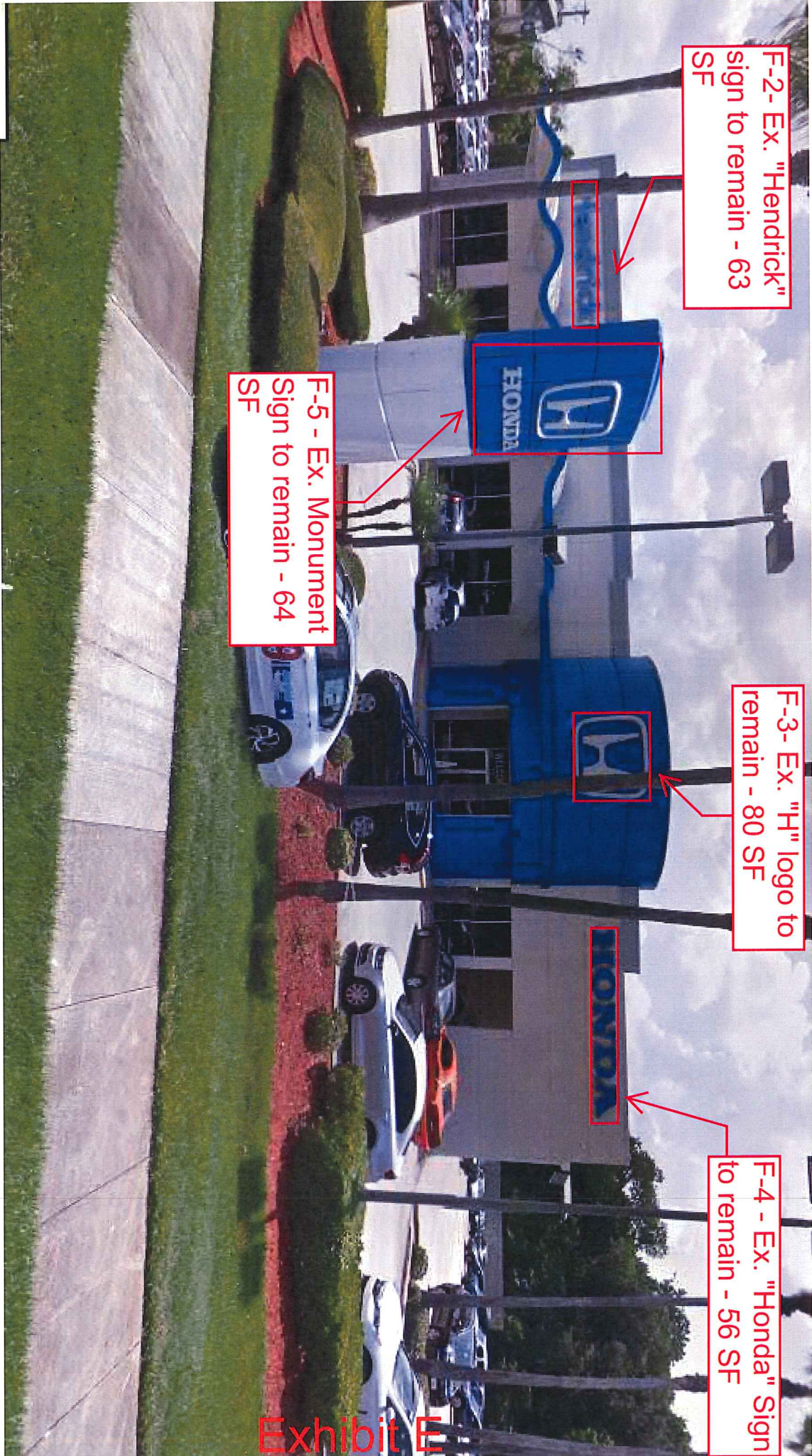
F-5 - Ex. Monument  
Sign to remain - 64  
SF



F-3- Ex. "H" logo to  
remain - 80 SF



F-4 - Ex. "Honda" Sign  
to remain - 56 SF



# Hendrick Honda

36" Dealer Letters



410 N. Cedar Bluff Rd. - Suite 101 - Knoxville, TN, 37923  
Tel (865) 693-7105 - Fax (865) 694-7106 - Toll Free (865) 219-1976

Customer Approval:

Date:

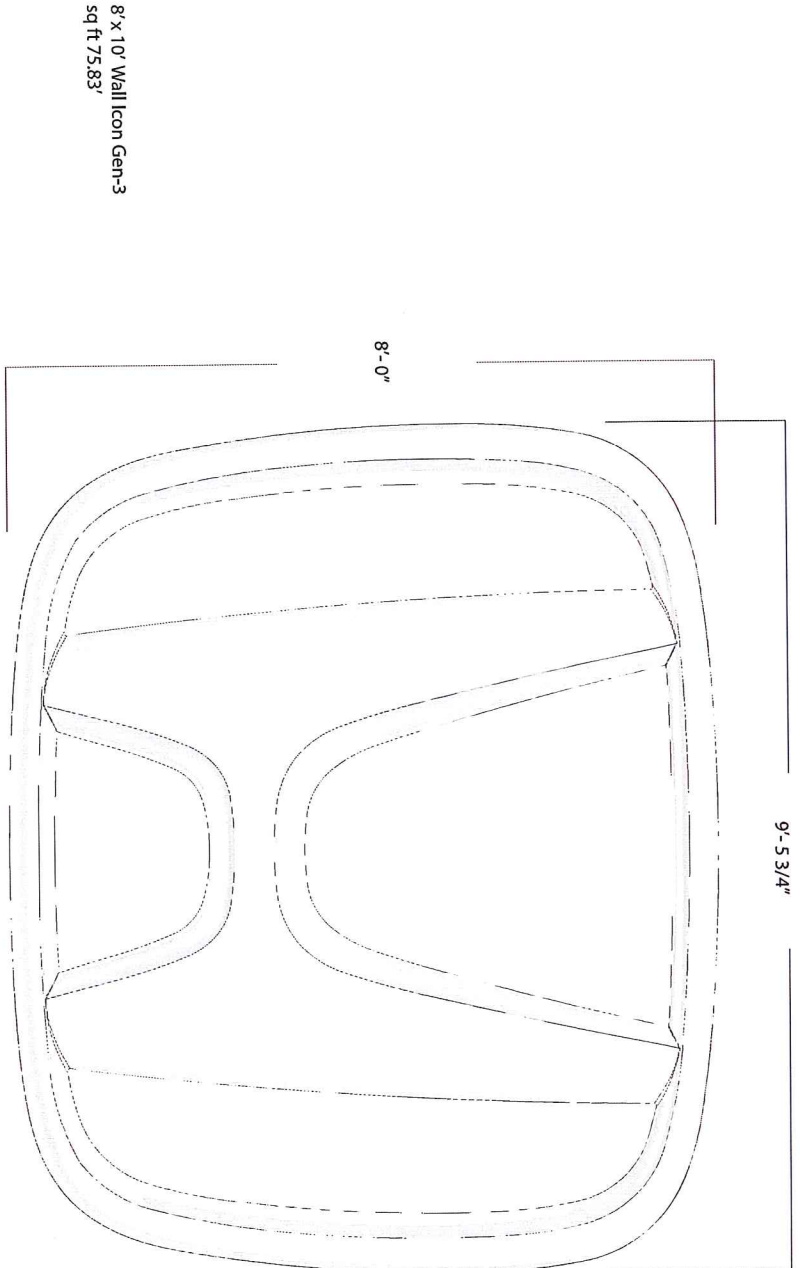
[www.pattisonsign.com](http://www.pattisonsign.com)

This sign to be installed in accordance with the requirements of Article 605 of the National Electrical Code and the applicable local codes. All signs must be properly grounded and bonded as per NEC.

Prohibit Sign From Illuminated Signs and Symbols. Illuminated Signs and Symbols Shall Not Be Used. Remove Signs and Symbols From Signs and Symbols. Dispose of These Signs According to Local, State, or Federal Law.

Electrical  
 120V


Client:	Hendrick Honda Daytona 208577-12-006Z
Site:	330 North Nova Road, Daytona Beach, FL
Sales Rep:	Chandler
Designer:	Plucian
Revision:	RT 23JAN12
	Scale: 1/4" = 1'-0"
	Page: 1 of 1



410 N. Cedar Bluff Rd. · Site 101 · Knoxville, TN, 37923  
Tel: (865) 893-1105 · Fax: (865) 894-1106 · Toll Free: (865) 218-1976

Customer Approval:

Date: \_\_\_\_\_

 This sign is to be installed in accordance with the Federal Code and other applicable local codes. This includes proper permitting and bonding of the sign.

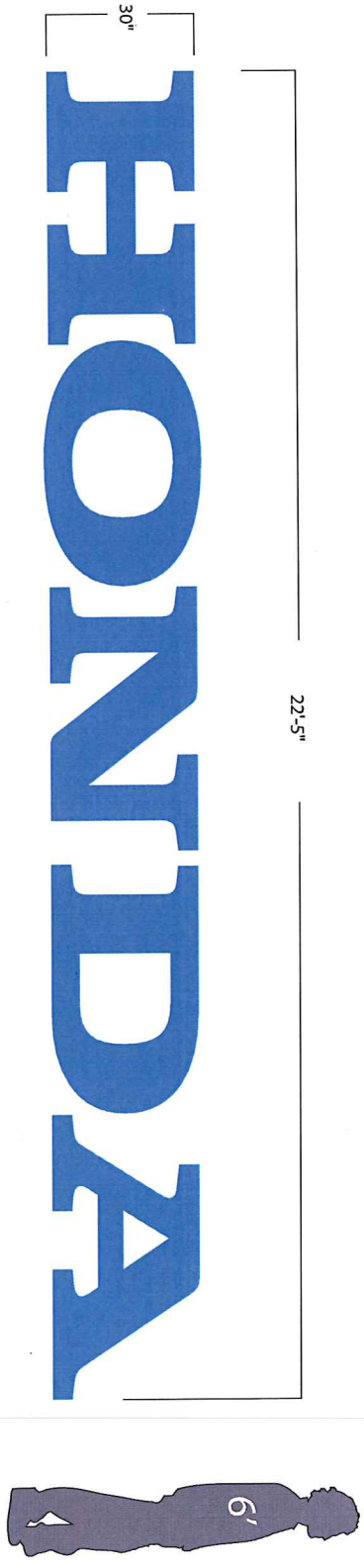
 Prohibit Sign Group Manufactured signs from certain jurisdictions. Prohibit signs from being installed in local, state, or federal parks.

 Electrical  120V

Client:	Pohanka Honda 207019 11-2010
Site:	1770 Riche Station Court, Capital Heights
Sales Rep:	Ken Rosen
Designer:	Plucian
Revision:	
Date:	18APR12
Scale:	3/4"=1'-0"
Page:	



Exhibit E-4



30" Honda Letters  
sq ft 56.04'



410 N. Cedar Bluff Rd. · Suite 101 · Knoxville, TN, 37923  
Tel (865) 693-1105 · Fax (888) 694-1106 · Toll Free (865) 218-1976

Customer Approval:

Date:

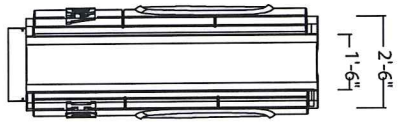
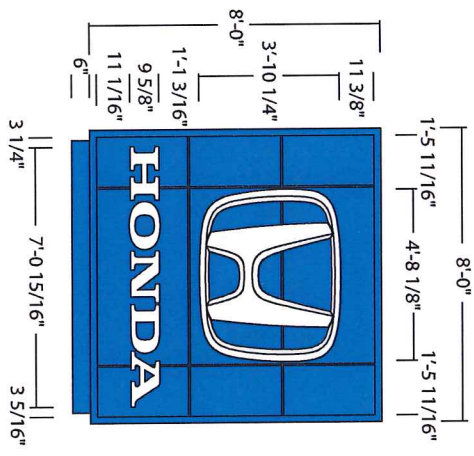
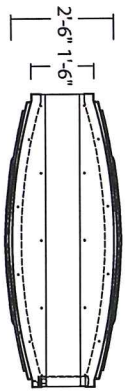
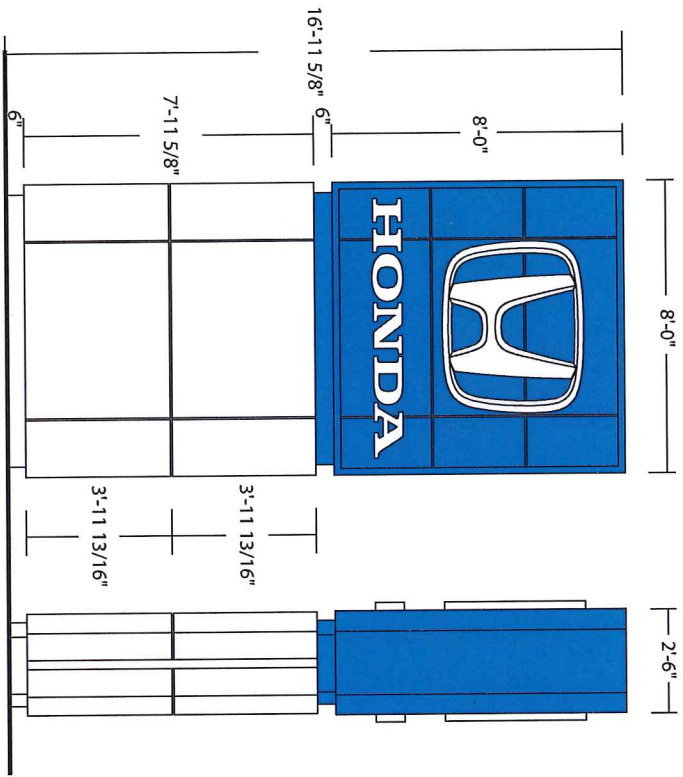
[www.pattison.com](http://www.pattison.com)

 This sign is to be installed in accordance with the National Electrical Code and other applicable local codes. This includes proper permitting and spacing of the sign.

 Patison Sign Group Limited Liability Company, Patison, TN, is not responsible for the design or installation of signs unless specifically stated on the sign order form.

 Electrical  
 120V

Client:	Pohanka Honda 207019 11-2010
Site:	1770 Fichie Station Court, Capital Heights
Sales Rep:	Ken Hosen
Designer:	Plucan
Revision:	
Date:	18APR12
Scale:	1/2"=1'-0"
Page:	



**HBS-8x8x17 - GEN 3  
Supply & Install (1) One New Double Face Illuminated Pylon**

**Specifications:**

- Aluminum construction
- Cabinet, EX13 retainers & escutcheon painted to match Honda Blue (PMS 285c)
- Honda blue acrylic molded faces
- Honda white acrylic molded cap on logo and letters
- White LED illumination
- Blue LED recessed lighting on side of cabinet
- Electrical hook-up by others

Fiberglass cladding, joint cover and bottom escutcheon Honda white



**PATTISON**  
SIGN GROUP INC.

Customer Approval:

\_\_\_\_\_

Date: \_\_\_\_\_

www.pattisonjsg.com



Client	Name
Site:	Address
Sales Rep:	Sales Rep
Designer:	Designer
Designer#:	12-0000
Date:	00/Jan/00
Scale:	1/4" = 1'-0"
Rev#:	

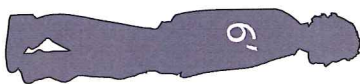
Professional Sign Group, Inc. is a registered provider of continuing education for the International Brotherhood of Electrical Workers (IBEW) and the International Union of Electrical Workers (IUEW). For more information, please contact the International Brotherhood of Electrical Workers (IBEW) at 1015 North 17th Street, Arlington, VA 22209 or the International Union of Electrical Workers (IUEW) at 1015 North 17th Street, Arlington, VA 22209.

410 N. Cedar Bluff Rd. · Suite 101 · Knoxville, TN, 37923  
Tel: (865) 693-1105 · Fax: (865) 694-1106 · Toll Free: (866) 218-1976

26'-2.25'/32"

2'-6"

# Service Center



30" Service Center Letters  
sq ft 65.57'



410 N. Cedar Bluff Rd. • Suite 101 • Knoxville, TN, 37923  
Tel (866) 693-1105 • Fax (888) 694-1106 • Toll Free (866) 218-1976

Customer Approval:

Date:



5. Prohibit signs which do not display the name of the sign manufacturer or the name of the sign manufacturer's authorized distributor.

Client:	Polhanka Honda 207019 11-2010
Site:	7770 Michie Station Court, Capital Heights
Sales Rep:	Ken Rosen
Designer:	PLUCIAN
Revision:	
Date:	10/24/12
Scale:	1/2"=1'-0"
Page:	

www.pattisonsign.com