

Agenda Item 5 (Quasi-Judicial Hearing)

Rezoning - Planned Development-General

DEV2016-105

Hendrick Honda

STAFF REPORT

DATE: April 18, 2017

TO: Planning Board Members

FROM: Rose Askew, Planner

PROJECT REQUEST

A request by Robert A. Merrell III, Esq., Cobb Cole, on behalf of Gene Cocchi, Hendrick Automotive Group, to rezone a total of 6± acres of land generally located west of Nova Road and north of Dr. Mary McLeod Bethune Boulevard, from Single-Family Residential 5 (SFR-5), Planned Development-General (PD-G) and Local Industry (M-1) to Planned Development-General (PD-G) to expand the existing auto dealership to allow for an additional 4,000 s.f. service area and additional parking.

PROJECT LOCATION AND DESCRIPTION

The general property location is west of Nova Road, north of Dr. Mary McLeod Bethune Boulevard, and east of Wilson Avenue. The property is zoned Local Industry (M-1), Planned Development-General (PD-G) and Single-Family Residential-5 (SFR-5). The future land use designation of Retail. Adjacent land uses and zoning classifications are illustrated in the following table are also shown in the accompanying maps.

Table 1: Land Use and Zoning

	Existing Uses	Future Land Use Designation	Existing Zoning Classification
Site	Hendrick Honda Automobile Dealership	Retail	Local Industry (M-1)/ Planned Development-General (PD-G)/Single-Family Residential (SFR-5)
North	Public Storage Facility	Retail	Local Industry (M-1)/Single-Family Residential (SFR-5)
South	Daytona Shopping Center	Retail	Redevelopment Midtown-Activity Center (RDM-3)

East	Bartly Park Single-Family Neighborhood	Level 2 Residential	Redevelopment Midtown-Residential Preservation (RDM-6)
West	Highlands Single-Family Neighborhood	Level 1 Residential	Single-Family Residential-5 (SFR-5)



Site View from Nova Road



New Parcel on Wilson Avenue

PROJECT HISTORY AND DESCRIPTION



The original site was developed in 1984 (John Hall Honda). Ordinance No. 97-608 adopted at the December 17, 1996 City Commission approved a rezoning to add an additional 1.4± acres to the development and to rezone the additional parcels from Single-Family Residential (R-1b) to Planned Commercial Development (PCD). Permitted uses for the PCD are services and storage uses associated with an automobile dealership (*Attachment A*).

The proposed rezoning request is to add an additional .5 acre parcel to the existing Hendrick Honda Development (total 6± acres) and rezone the development from M-1, PD-G, and SFR-5 to PD-G to, attain consistent zoning. Site improvements include adding an additional 6,500 square feet to the existing Hendrick Honda showroom, minor regrading of parcels and adjustment of parking spaces to accommodate the expansion.

PROJECT ANALYSIS

Article 4 (Zoning Districts), Section 4.8 (Planned Development Districts) of the LDC reads:

A.1 GENERAL PLANNED DEVELOPMENT DISTRICT PURPOSES

Planned Development (PD) districts are established and intended to encourage innovative land planning and site design concepts that support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and other City goals and objectives by:

- a. Reducing or diminishing the inflexibility or uniform design that sometimes results from strict application of zoning and development standards designed primarily for individual lots;*
- b. Allowing greater freedom in selecting the means of providing access, open space, and design amenities;*
- c. Allowing greater freedom in providing a well-integrated mix of residential and nonresidential land uses in the same development, including a mix of housing types, lot sizes, and densities;*
- d. Providing for efficient use of land resulting in smaller networks of utilities and streets and thereby lowering development and housing costs; and*
- e. Promoting quality design and environmentally sensitive development that respects surrounding established land use character and respects and takes advantage of a site's natural and man-made features, such as trees, wetlands, surface waters, floodplains, and historic features.*

Article 3 (Review Procedures), Section 3.4.F.4 (Planned Development Review Standards) of the LDC reads:

Review of and the decision on a Planned Development application shall be based on compliance of the proposed zoning reclassification and PD Plan/Agreement with the review standards in Section 3.4.D.3, Site-Specific Zoning District Map Amendment Review Standards, and the standards for the proposed type of PD district in Section 4.8, Planned Development Zoning Districts.

Site-Specific Zoning District Map Amendment Review Standards

In determining whether to adopt or deny a proposed Site-Specific Zoning District Map Amendment, the City shall consider:

- a. Whether the applicant has provided, as part of the record of the public hearing on the application, competent substantial evidence that the proposed amendment:**

i. Is consistent with and furthers the goals, objectives, and policies of the comprehensive plan and all other applicable City-adopted plans;

The property subject to the proposed PD Rezoning application has a future land use designation of Retail and is located in Neighborhood “L”. The Retail land use is composed primarily of retail establishments. The floor area ratio shall not exceed 3 and the residential density shall not exceed 40 dwelling units per acre.

The City’s Technical Review Team (TRT) has reviewed the rezoning request and found the request to be consistent with the Comprehensive Plan.

ii. Is not in conflict with any portion of this Code;

Development standards for a PD-G Zoning District must comply with the development standards of Article 6: Development Standards and Article 7: Subdivision Standards or any modifications of those standards established in the PD Plan/Agreement. The applicant has requested the following modifications:

1. Section 6.4.C – Modification to reduce the required tree preservation requirement.
2. Section 4.9.D.3.a – Modification to maintain the existing 25 foot wide landscape yard.
3. Section 4.2.B.3 – Modification to reduce the minimum 25 foot setback for properties in the SFR-5 zoning district to 15 feet.

The existing dealership is fully developed and operational. Approval of the PD rezoning application with the requested modifications would allow an expansion of the existing facility and would not be in conflict with any portions of the LDC.

iii. Addresses a demonstrated community need;

The applicant has provided a Benefit/Modification statement (Attachment B).

iv. Is compatible with existing and proposed uses surrounding the subject land, and is the appropriate zoning district for the land;

The adjacent property to the north is a ministorage facility and to the east is a shopping plaza with a variety of retail uses. To the south and west are single-family residential neighborhoods. The property has a future land use of Retail which does permit a variety of retail sales and residential uses. Additionally, the applicant is providing a wall and landscaping as a buffer for the single-family residential uses. The application has been reviewed by the City’s Technical Review Team and determined that the property is suitable in size, location, and character for the uses proposed and that the uses are consistent with the City’s Comprehensive Plan.

PD Site Plan

The site is fully developed. The applicant is proposing to expand the existing Hendrick Honda showroom by 6,500 square feet, minor regrading of parcels and adjustment and addition of 5 spaces to accommodate the expansion. The PD plan for the property is attached (*Attachment C*).

Signage and Landscaping

The applicant is requesting to keep all existing signage on the property and add one 65 square foot wall sign to be located on the new expansion of the showroom. Sign plan for the property is attached. (*Attachment D*)

The applicant is requesting two landscape modifications as follows:

1. Section 6.4.C – Modification to reduce the required tree preservation requirement.
2. Section 4.9.D.3.a – Modification to maintain the existing 25 foot wide landscape yard.

v. Would result in a logical and orderly development pattern;

The standards established in the PD Agreement and the LDC would result in a logical and orderly development pattern for the subject property.

vi. Would not adversely affect the property values in the area;

Staff does not have any indication the proposed development would have an adverse effect on the property values in the area.

vii. Would result in development that is adequately served by public facilities (roads, potable water, wastewater, solid waste, storm water, schools, parks, police, and fire and emergency medical facilities); and

Staff has reviewed the requested development for impacts to public facilities and offers no objection to the proposed uses or development plan.

viii. Would not result in significantly adverse impacts on the natural environment including, but not limited to, water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment; and

The City's TRT has reviewed the request for impacts on the natural environment and does not anticipate any adverse environmental impacts with the approval of this request.

b. If the applicant demonstrates that the proposed amendment meets the criteria in subparagraph [a] above, whether the current zoning district designation accomplishes a legitimate public purpose.

The current zoning designations on the property are M-1, PD-G, and SFR-5. The future land use is Retail. The SFR-5 zoning district does not permit auto uses, but the Retail future land use does allow automobile uses. The City's TRT has reviewed the request and found the use to be an acceptable service related use.

Planned Development Zoning Districts Review Standards

Before approving a PD zoning district classification, the City Commission shall find the application for the PD zoning district, as well as the PD Plan/Agreement included as part of the application, comply the review standards in Section 3.4.D.3 of the LDC.

The PD Plan/Agreement includes a development plan for proposed addition of the 5± acre parcel and the expansion of the existing showroom.

The property is fully developed. Uses for the development include a variety of automotive uses, and services. It has three access points, two on Nova Road and one on Dr. Mary McLeod Bethune Boulevard, landscaping, parking. Staff has reviewed the proposed Rezoning request and determined the request is consistent with the Comprehensive Plan.

The applicant has conducted a neighborhood meeting, as required by the LDC. A summary of the neighborhood meeting prepared by the applicant is attached (*Attachment E*).

RECOMMENDATION

Staff recommends approval to rezone a total of 6± acres of land generally located west of Nova Road and north of Dr. Mary McLeod Bethune Boulevard, from Single-Family Residential 5 (SFR-5), Planned Development-General (PD-G) and Local Industry (M-1) to Planned Development-General (PD-G), to expand the existing auto dealership to allow for an additional 6,500 square feet service area and additional parking.

The item is tentatively scheduled to be heard by the City Commission for first reading on June 7, 2017 and for second reading on June 21, 2017 (public hearing).

A majority vote of the Planning Board members present and voting are required to recommend approval to the City Commission.



**DEV2016-105
 PLANNED DEVELOPMENT GENERAL - REZONING
 PLANNED DEVELOPMENT AMENDMENT
 LOCATION MAP**

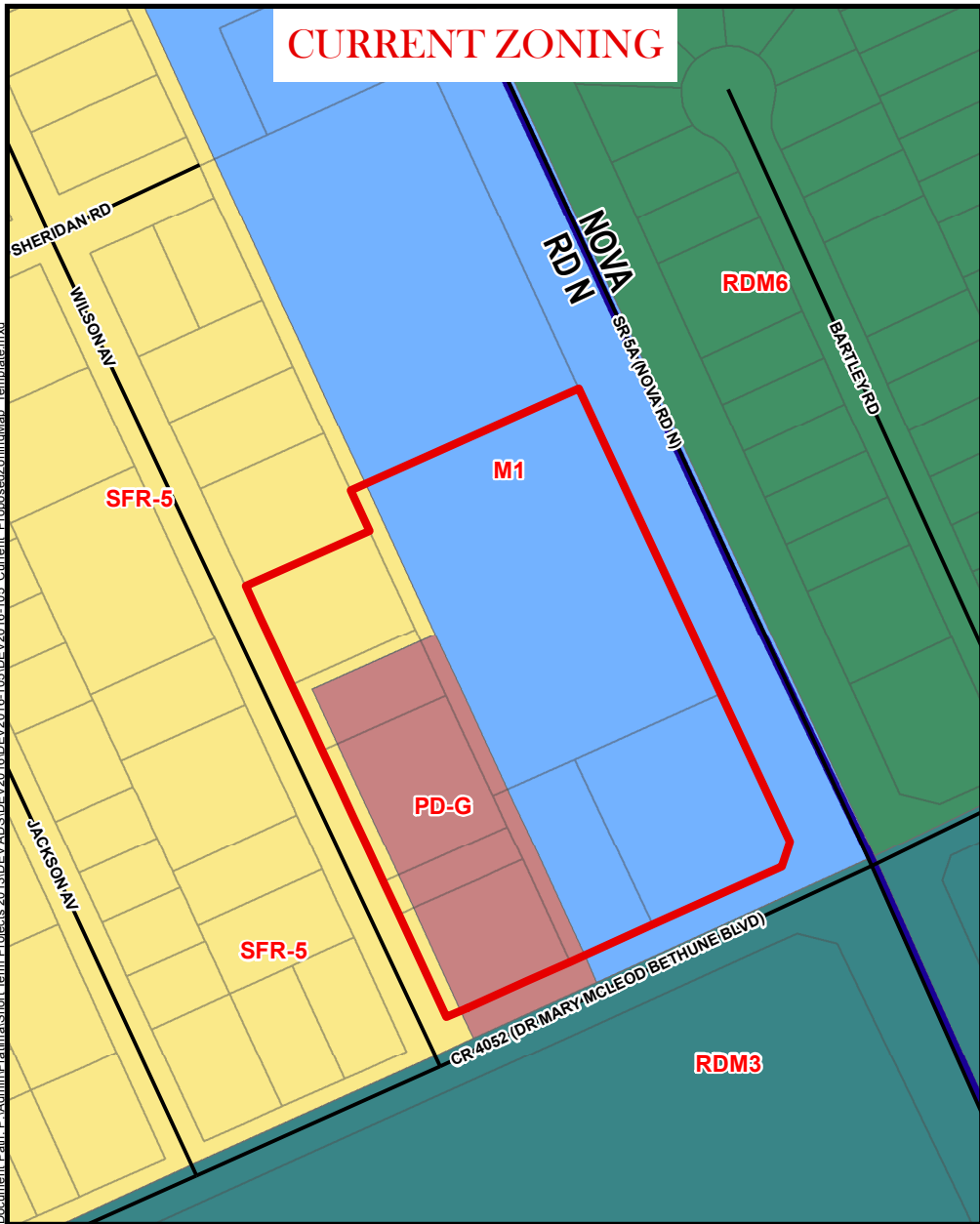
City of Daytona Beach Map disclaimer:
 These maps were developed and produced by the City of Daytona Beach GIS. They are provided for reference only and are not intended to show map scale accuracy or all inclusive map features. As indicated, the accuracy of the map has not been verified and it should be used for informational purposes only. Any possible discrepancies should be brought to the attention of City Engineering and or Development Services.



**DEV2016-105
PLANNED DEVELOPMENT GENERAL - REZONING
PLANNED DEVELOPMENT AMENDMENT
AERIAL MAP**

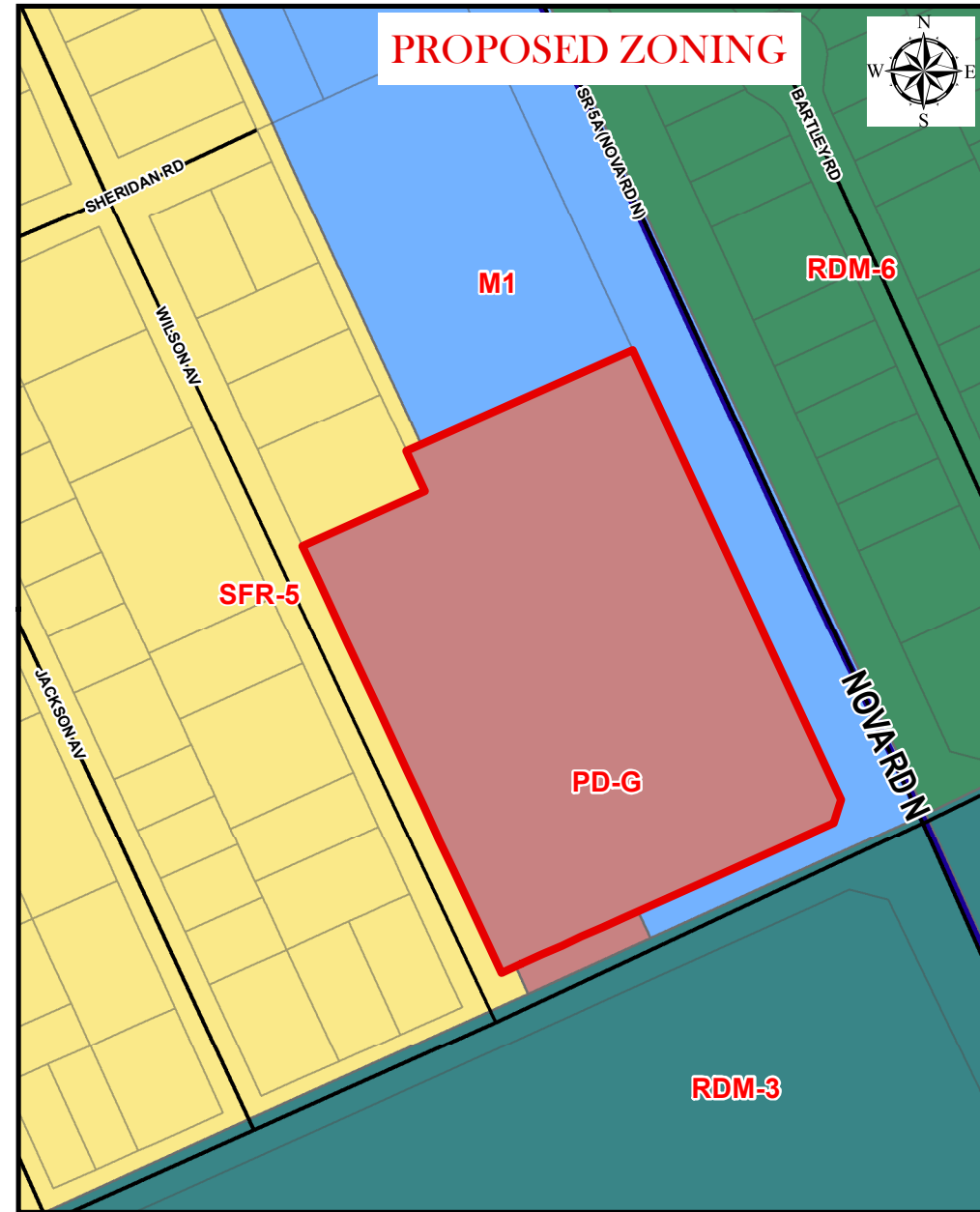
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CURRENT ZONING



1 inch = 200 feet

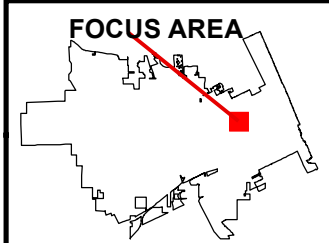
PROPOSED ZONING



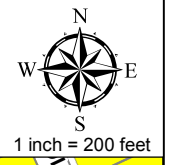
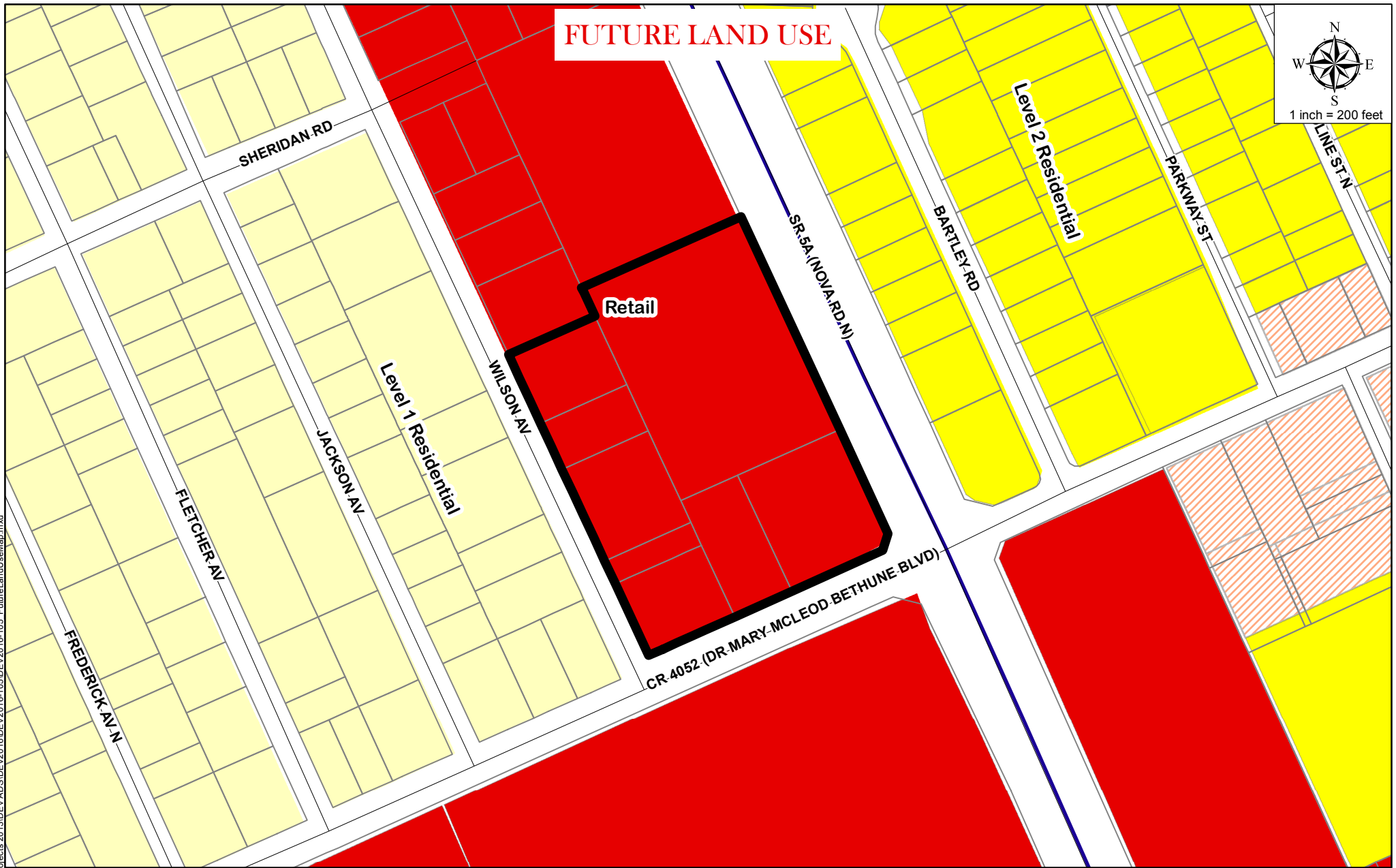
1 inch = 200 feet



DEV2016-105 PLANNED DEVELOPMENT GENERAL - REZONING PLANNED DEVELOPMENT AMENDMENT CURRENT & PROPOSED ZONING MAP



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**DEV2016-105
 PLANNED DEVELOPMENT GENERAL - REZONING
 PLANNED DEVELOPMENT AMENDMENT
 FUTURE LAND USE MAP**

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ORDINANCE NO. 97-608

AN ORDINANCE AMENDING THE ZONING MAP OF THE LAND DEVELOPMENT CODE TO REZONE 1.4± ACRES OF PROPERTY LOCATED IN THE 300 BLOCK OF WILSON AVENUE FROM R-1b (SINGLE FAMILY RESIDENTIAL) TO PCD (PLANNED COMMERCIAL DEVELOPMENT) ZONING DISTRICT; AUTHORIZING THE MAYOR AND CITY CLERK TO EXECUTE A PCD AGREEMENT; ADOPTING THIS ORDINANCE PURSUANT TO ARTICLE 3 § 1.3, LAND DEVELOPMENT CODE; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HERewith; AND PROVIDING WHEN THIS ORDINANCE SHALL TAKE EFFECT.

WHEREAS, certain property located in the 300 block of Wilson Avenue, behind the existing Jon Hall Honda automobile dealership at 330 North Nova Road is currently zoned R-1b (single family residential) district; and

WHEREAS, the property owner, Jon Hall Honda, J. Ross Hall, president, has requested that the City rezone the property to PCD (planned commercial development), and has submitted a PCD Agreement concerning proposed development of the property; and

WHEREAS, the Planning Board has reviewed the request and recommended against approval of the request by a vote of 0-10.

NOW, THEREFORE, BE IT ENACTED BY THE PEOPLE OF THE CITY OF DAYTONA BEACH, FLORIDA:

SECTION 1. The Zoning Map of the City's Land Development Code is hereby amended to rezone 1.4± acres of property located in the 300 block of Wilson Avenue, behind the existing Jon Hall Honda automobile dealership at 330 North Nova Road, FROM R-1b (single family residential) district to PCD (planned commercial development). The property is more

particularly described as follows:

Lots 1-13 inclusive, Block 2 of "East Highlands" as recorded in Map Book 10, Page 60, Public Records of Volusia County, Florida.

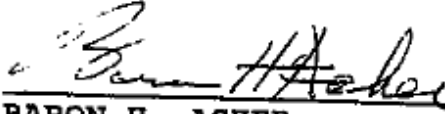
SECTION 2. The Mayor and City Clerk are hereby authorized to execute the Planned Development Agreement regulating development of the property described in section 1, attached hereto and incorporated by reference herein.

SECTION 3. A Public Hearing at 7:00 p.m., Wednesday, December 17, 1997, in Commission Chambers, City Hall, 301 South Ridgewood Avenue, Daytona Beach, Florida, after notice published, is deemed to comply with the Land Development Code (LDC).


SECTION 4. The City Commission has received the report of the Planning Board recommending denial of the request and adopts this Ordinance in accordance with Article 3 § 1.3, LDC.

SECTION 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

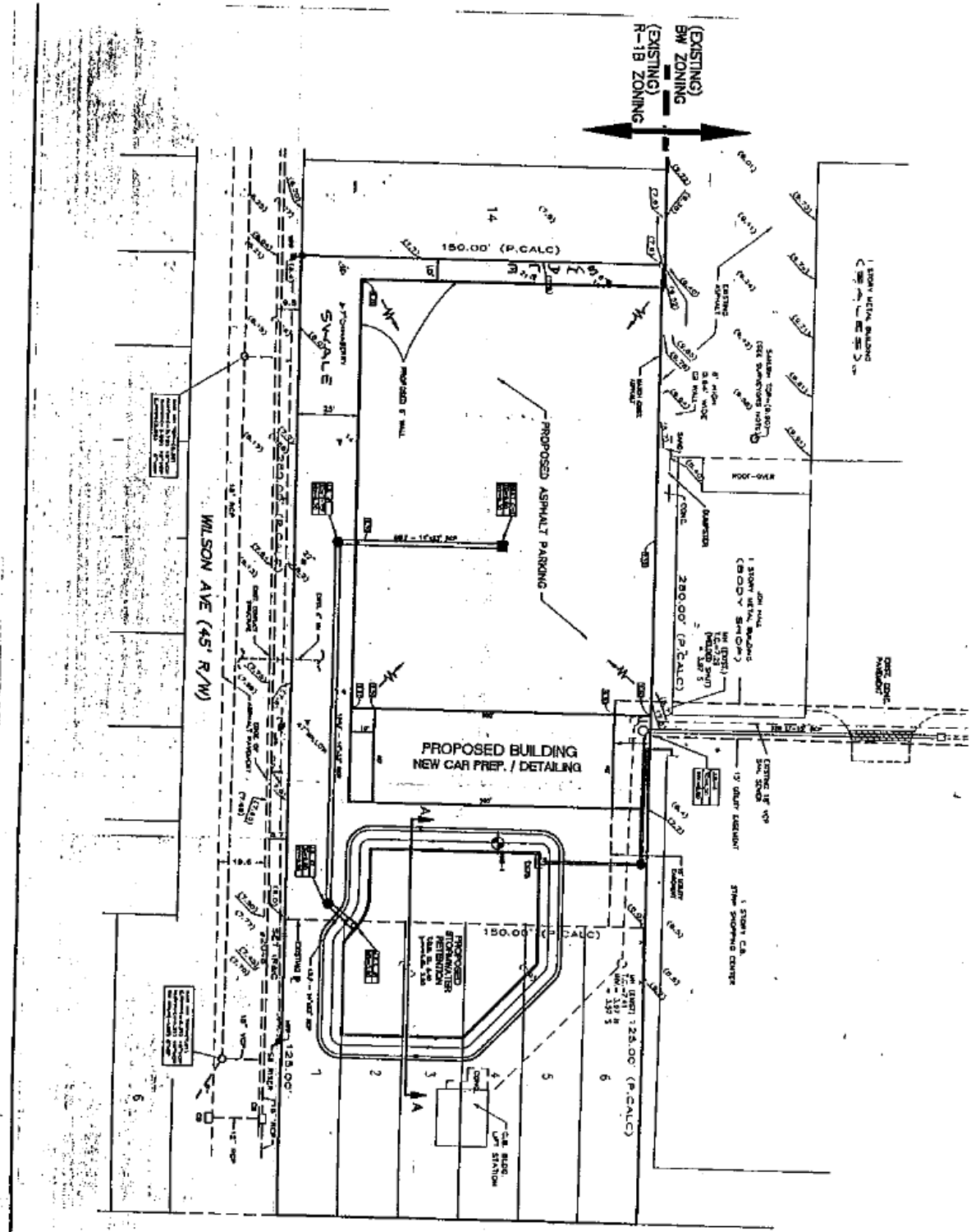
SECTION 6. This Ordinance shall take effect concurrently with Ordinance No. 97-607, amending the future land use designation for the property in the city's Comprehensive Plan.


BARON H. ASHER
Mayor

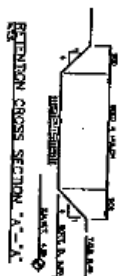
ATTEST:


GWEN AZAMA-EDWARDS
City Clerk

Passed on 1st Reading: November 18, 1997
Adopted on 2nd Reading: December 17, 1997



SECOND AVE, (50' R/W)



- LEGEND**
- EXISTING LOT BOUNDARY
 - EXISTING LOT CORNER
 - EXISTING DRIVE CENTERLINE
 - EXISTING DRIVE RIGHT OF WAY
 - EXISTING DRIVE CENTERLINE
 - EXISTING DRIVE RIGHT OF WAY
 - EXISTING DRIVE CENTERLINE
 - EXISTING DRIVE RIGHT OF WAY



EXHIBIT B

JON HALL HONDA PCDD
COMPREHENSIVE PLAN EXHIBIT

PROJECT: Jon Hall Honda PCDD
 CITY: Fort Lauderdale, Florida
 COUNTY: Broward County, Florida
 PREPARED BY: ZEV COHEN & ASSOCIATES, INC.
 DATE: 10-3-10

NO.	DATE	DESCRIPTION
1	10-3-10	PRELIMINARY PLAN
2	10-3-10	FINAL PLAN

JAMES S. MORRIS
ATTORNEY AND COUNSELOR AT LAW

February 24, 2017

Mr. Dennis Mrozek
Principal Planner
City of Daytona Beach
301 S. Ridgewood Avenue, Room 240
Daytona Beach, FL 32115

**Re: Waiver and Benefits of the Hendrick Honda Planned District Agreement
LDC Waivers and Public Benefits
DEV 2016-105**

Dear Dennis:

I have the pleasure of representing HDBF, LLC (Property Owner). The Property proposed to be governed by the PD-G is located at 330 North Nova Road. The majority of the property involved in the request is already developed as an auto dealership. One parcel (approximately 0.38 acres located at the northwestern corner of the overall zoning parcel will be incorporated into the site, enclosed with a screening wall and rezoned from SFR-5 to PD-G. The parcel is classified by the Comprehensive Plan to allow automotive sales. The balance of the rezoning parcels (approximately 4.15 acres) is already developed and used for an automotive (Hendrick Honda) dealership. The property suffers from a zoning split between the M-1, SFR-5 and PD categories. The proposed PD-G unites all property into one zoning category (PD-G) which will be one tax parcel. The PD-G will supersede all prior zoning classifications or agreements. The property which fronts on Nova Road has existing landscaping and screening walls applicable to the property. The landscaping does not conform to the Nova Road Corridor requirements and there is no room with existing development and site traffic circulation and parking patterns to allow modification to accomplish compliance. Where it is possible on the site (based on available space), additional and/or code compliant landscaping is proposed. To allow the development defined by the PD-G, the following waivers are requested.

Requested Waivers and Administrative Approvals

1. Landscaping.

15% NATURAL PRESERVATION	
TOTAL SITE AREA	5.06 ACRES
TOTAL PRESERVATION AREA REQUIRED	.76 ACRES
(CALCULATION: 5.06 AC. x 15% = .76 AC.)	
TOTAL PRESERVATION AREA PROVIDED	.32 ACRES

MINIMUM ON-SITE TREES
MINIMUM TREES REQUIRED ON SITE 88

JAMES S. MORRIS, P.A. ♦ POST OFFICE BOX 291687 ♦ PORT ORANGE, FL 32129-1687
750 OAK HEIGHTS COURT, UNIT 304 ♦ PORT ORANGE, FL 32127
386-310-8784 ♦ 386-310-8783, FAX ♦ JIM@JAMESMORRISP.A.COM

(CALCULATION: 220,423 S.F. / 2,500 S.F. = 88)
 EXISTING TREES TO BE PRESERVED 59
 NUMBER OF TREES PROVIDED ON LANDSCAPE PLAN 19
 TOTAL NUMBER OF TREES EXISTING PLUS PROVIDED 78

SPECIMEN TREE CALCULATIONS
 SPECIMEN TREES ON SITE 39
 SITE ACREAGE 5.06
 SPECIMEN TREES PER ACRE 7.7
 SPECIMEN TREES REQUIRED TO BE PRESERVED 20

(CALCULATION: 34 TREES/5.06 ACRES = 7.7 TREES/ACRE) = 50%
 SPECIMEN TREES PRESERVED 31

SPECIMEN TREES PER ACRE BE PRESERVED	EXISTING SPECIMEN TREES TO
LESS THAN 3	80%
3.0-5.0	65%
5.1-8.0	50%
8.1 or more	4 PER ACRE

2. **Corridor Requirement.** Section 4.9, Table 4.9.D.3.A requires a twenty-five (25') foot landscape buffer. The existing buffer is approximately twenty-five (25') feet wide. It is proposed to be maintained at its current width.
3. **SFR-5 Zoning.** The SFR-5 zoning (which will be eliminated by the PD-G) requires the rear yard setback for SFR-5 zoning district is 25 feet. The proposed rear yard setback is 15 feet. Revise or request a modification. The plan proposed a screening wall at the Wilson Avenue property line with site exterior landscaping as illustrated by the landscape plan. See PD-G Exhibit D also attached hereto as Exhibit 1.

Benefit Analysis

There are two principal PD-G benefits.

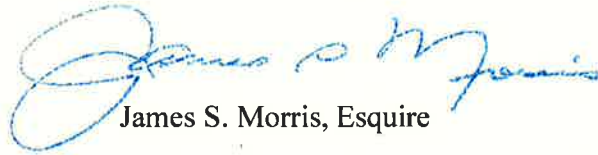
1. **Unified zoning and standards.** The property presently suffers split zoning. The proposed PD-G unifies the zoning and creates a clear set of standards for City staff and the property owner to consult in regulating and developing the property. Additionally, unified zoning allows the business (a significant area employer) to have clarity in how the property will be regulated and may be developed.
2. **Implementation of the Comprehensive Plan.** The rezoning will allow "squaring off" of the Honda parcel and implement the Comprehensive Plan which anticipates commercial use of the northwest corner of the zoning parcel. The re-use of the

property will eliminate a delapidated structure that presently exists on the property and fronts on Wilson. The home will be removed and replaced with a screening wall and landscape buffer fronting on Wilson.

The Property Owner is seeking a City staff recommendation of approval for the proposed PD Agreement. Thank you for your time and consideration in this matter.

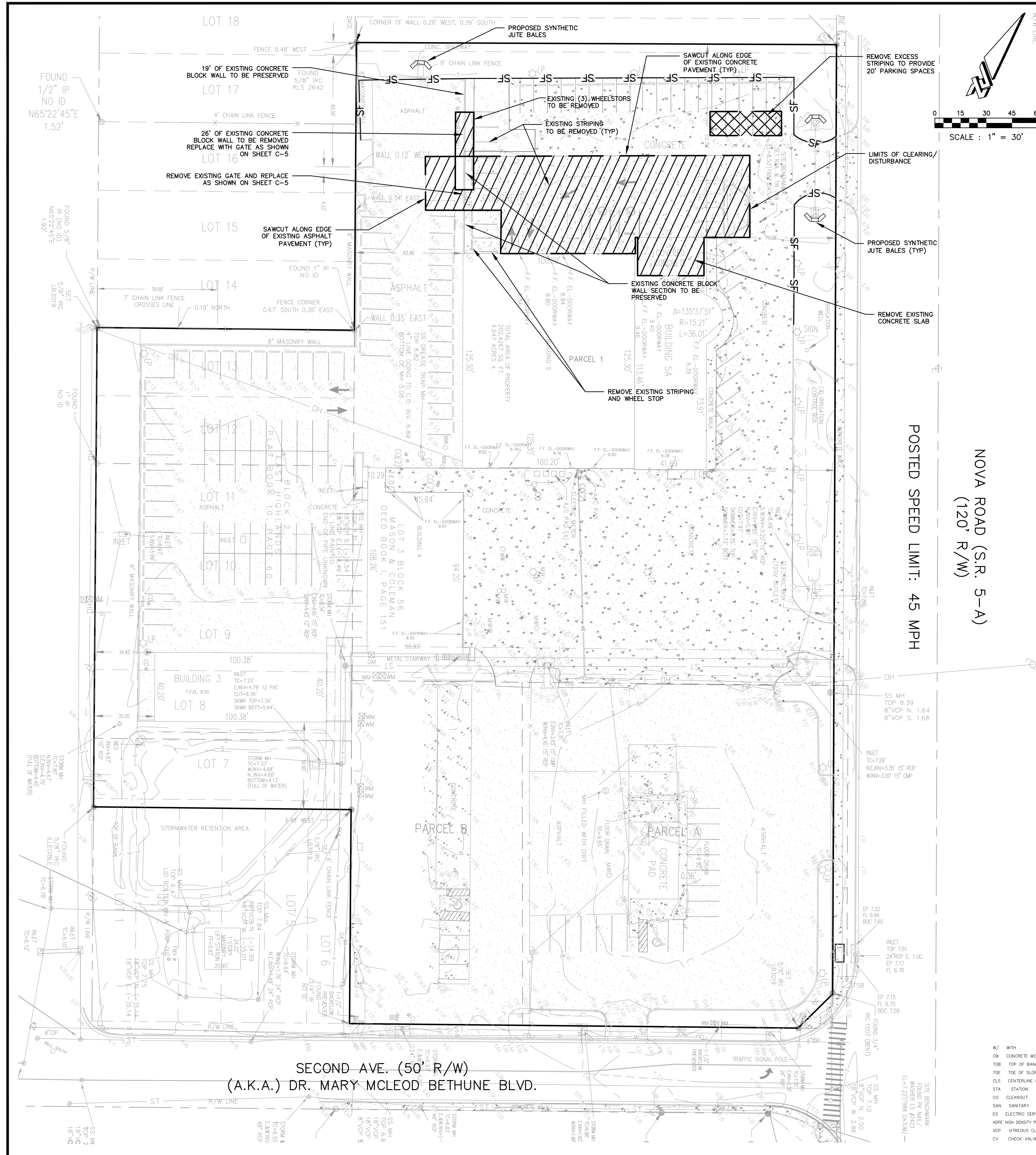
Sincerely yours,

JAMES S. MORRIS, P.A.

A handwritten signature in blue ink, appearing to read "James S. Morris".

James S. Morris, Esquire

JSM/kf



SITE CLEARING AND GRADING NOTES

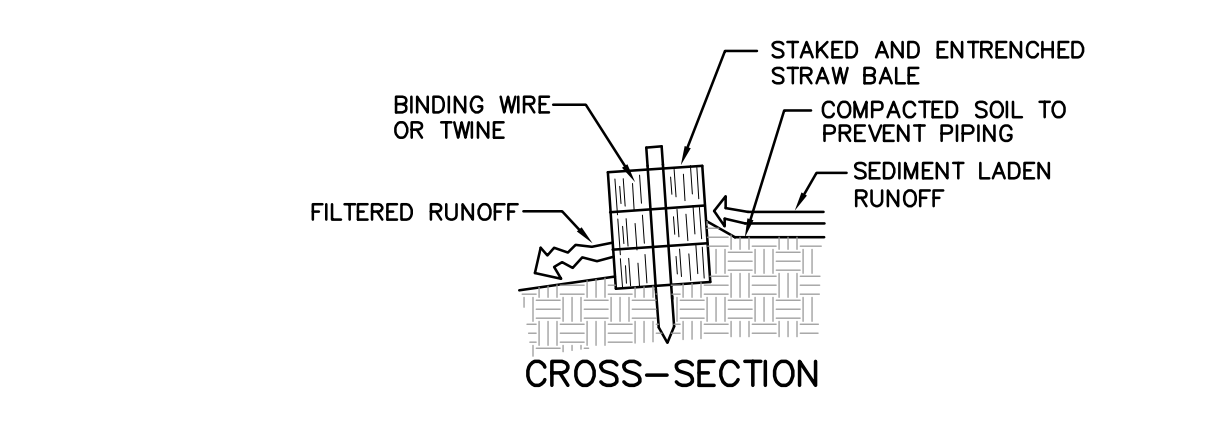
- 1. NO DISTURBANCE OF PROPOSED CONSERVATION EASEMENTS, NATURAL BUFFERS, OR WATER BODIES IS PERMITTED...
2. SPECIMEN AND HISTORIC TREES, CONSERVATION EASEMENTS, NATURAL VEGETATION BUFFERS, AND SIMILAR AREAS MUST BE PROTECTED BY BARRICADES OR FENCING PRIOR TO CLEARING...
3. WHERE A CHANGE OF GRADE OCCURS AT THE DRIP LINE OF A SPECIMEN TREE, SILT FENCES WILL BE REQUIRED DURING CONSTRUCTION AND RETAINING WALLS MUST BE INSTALLED PRIOR TO FINAL ACCEPTANCE BY THE CITY.

PROPOSED LEGEND:
EXISTING CONCRETE AND ASPHALT PAVEMENT TO BE DEMOLISHED
EXISTING STRIPING TO BE REMOVED
SILT FENCE
DEV2015-071

EROSION & SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION, SEDIMENTATION, AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
2. CONTRACTOR SHALL MINIMIZE DISTURBANCE OF EXISTING VEGETATION, (PARTICULARLY AROUND THE PERIMETER AND ADJACENT EXISTING DRAINAGE PATTERNS) TO THE MAXIMUM EXTENT PRACTICAL DURING THE CONSTRUCTION PROCESS.

THE CITY OF DAYTONA BEACH ENGINEERING DIVISION
EROSION AND SEDIMENT CONTROL NOTES
ST-5
Includes a small diagram of a silt fence cross-section.



NOTES FOR BAILED JUTE BARRIERS:

- 1. TYPE I AND II BARRIERS SHOULD BE SPACED IN ACCORDANCE WITH CHART 1, SHEET 1.
2. JUTE BALES SHALL BE TRIMMED 3" TO 4" AND ANCHORED WITH 2 - 1/2" (OR 1" DIA.) x 4' WOOD STAKES...
3. RAILS AND POSTS SHALL BE 2"x4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY THE ENGINEER.

SILT FENCE CONSTRUCTION N.T.S.

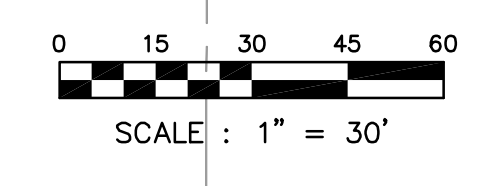
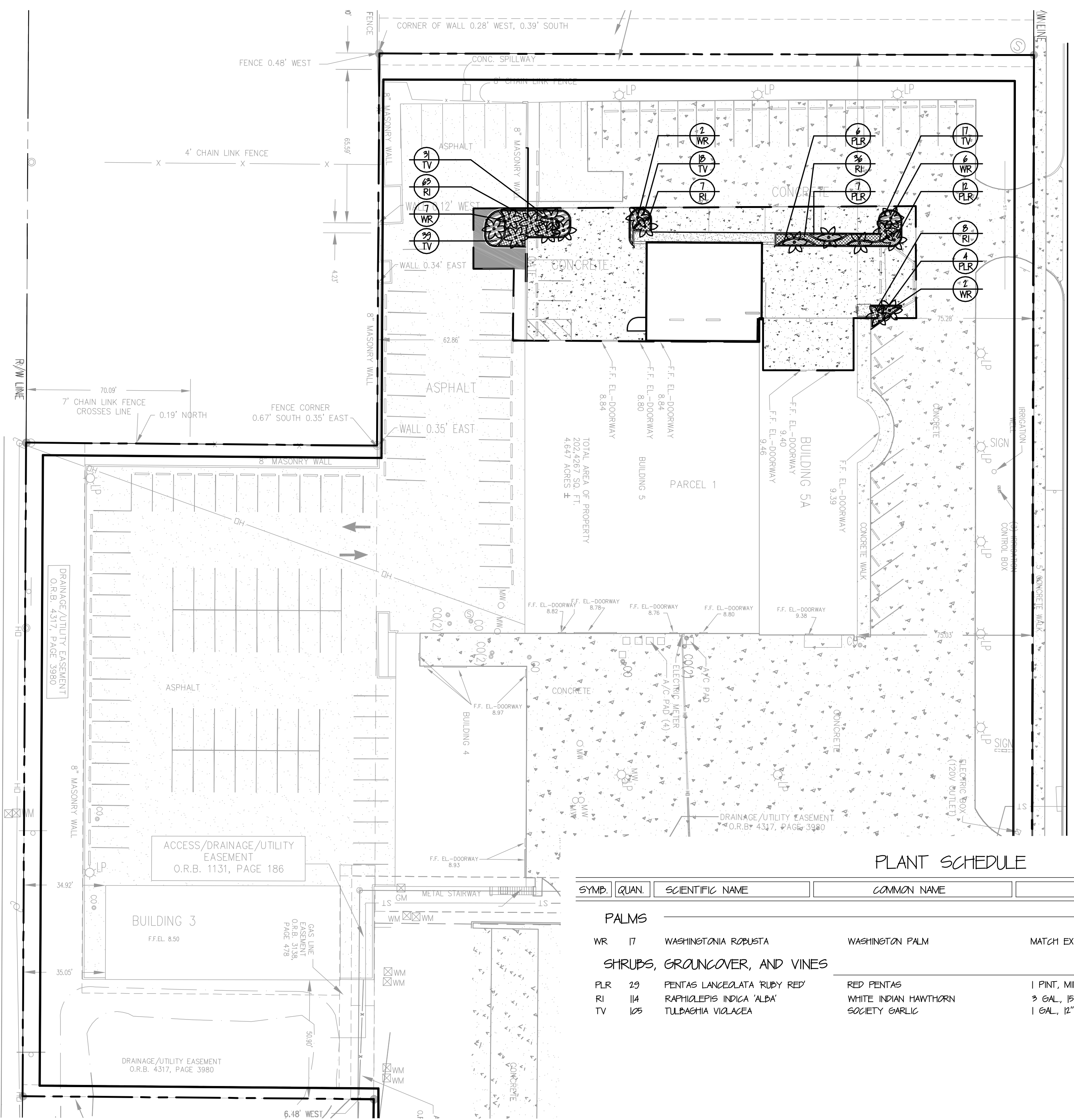
- 1. SET POSTS AND EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
2. STAPLE WIRE FENCING TO THE POSTS.
3. ATTACH THE FILTER FABRIC TO THE WIRE FENCING AND EXTEND IT INTO THE TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.

LEGEND
IRON ROD WITH CAP
IRON PIPE WITH CAP
IRON PIPE
FD 'X' / OUT IN CONCRETE
CONCRETE MONUMENT
PERMANENT REFERENCE MONUMENT
PERMANENT CONTROL POINT
FORCE MAIN VALVE
WATER VALVE
WATER METER
FIRE HYDRANT
TELEPHONE BOX
TRAFFIC SIGNAL BOX
ELECTRIC BOX
CABLE TELEVISION BOX
MAIL BOX
LIGHT POLE
UTILITY POLE
GUY ANCHOR
CLEAN OUT
SIGN
ORF OFFICIAL RECORDS BOOK
PAGE
IDENTIFICATION
(TYP) TYPICAL
MEASURED DIMENSION
CALCULATED DIMENSION
FLORIDA DEPARTMENT OF TRANSPORTATION RECORD DRAWING

SECOND AVE. (50' R/W)
(A.K.A.) DR. MARY McLEOD BETHUNE BLVD.

NOVA ROAD (S.R. 5-A)
(120' R/W)
POSTED SPEED LIMIT: 45 MPH

Project information block including:
HENDRICK HONDA OF DAYTONA BEACH SHOWROOM EXPANSION
SITE PLAN
EROSION CONTROL & CLEARING PLAN
ZEV COHEN & ASSOCIATES, INC.
PROJECT NO: 15026
ISSUE DATE: APRIL 2015
DESIGNED BY: HK
SCALE: 1"=30'
SHEET C-4 OF 7



NOVA ROAD (S.R. 5-A)
(120' R/W)

PLANT SCHEDULE

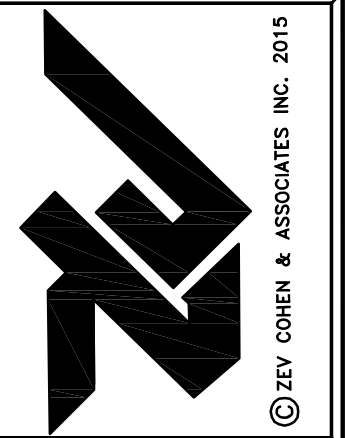
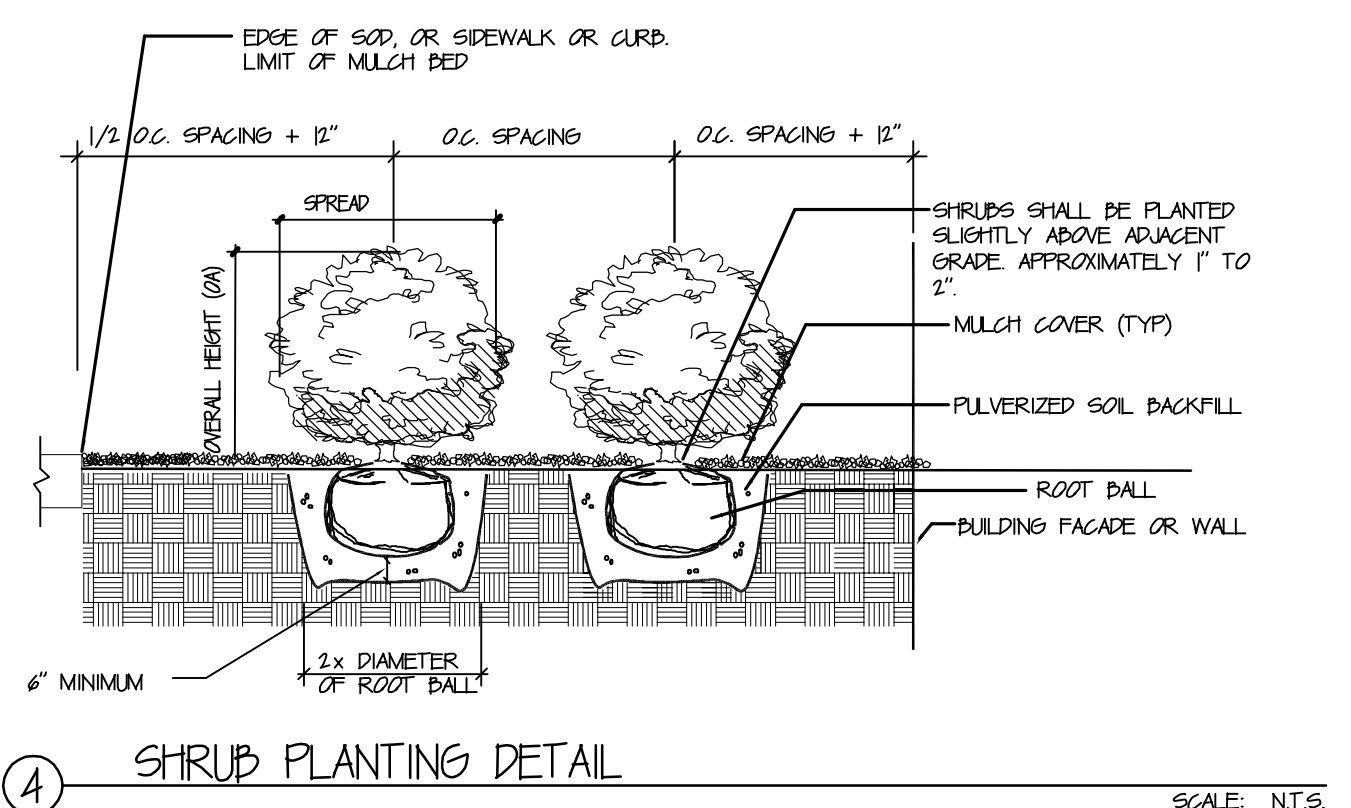
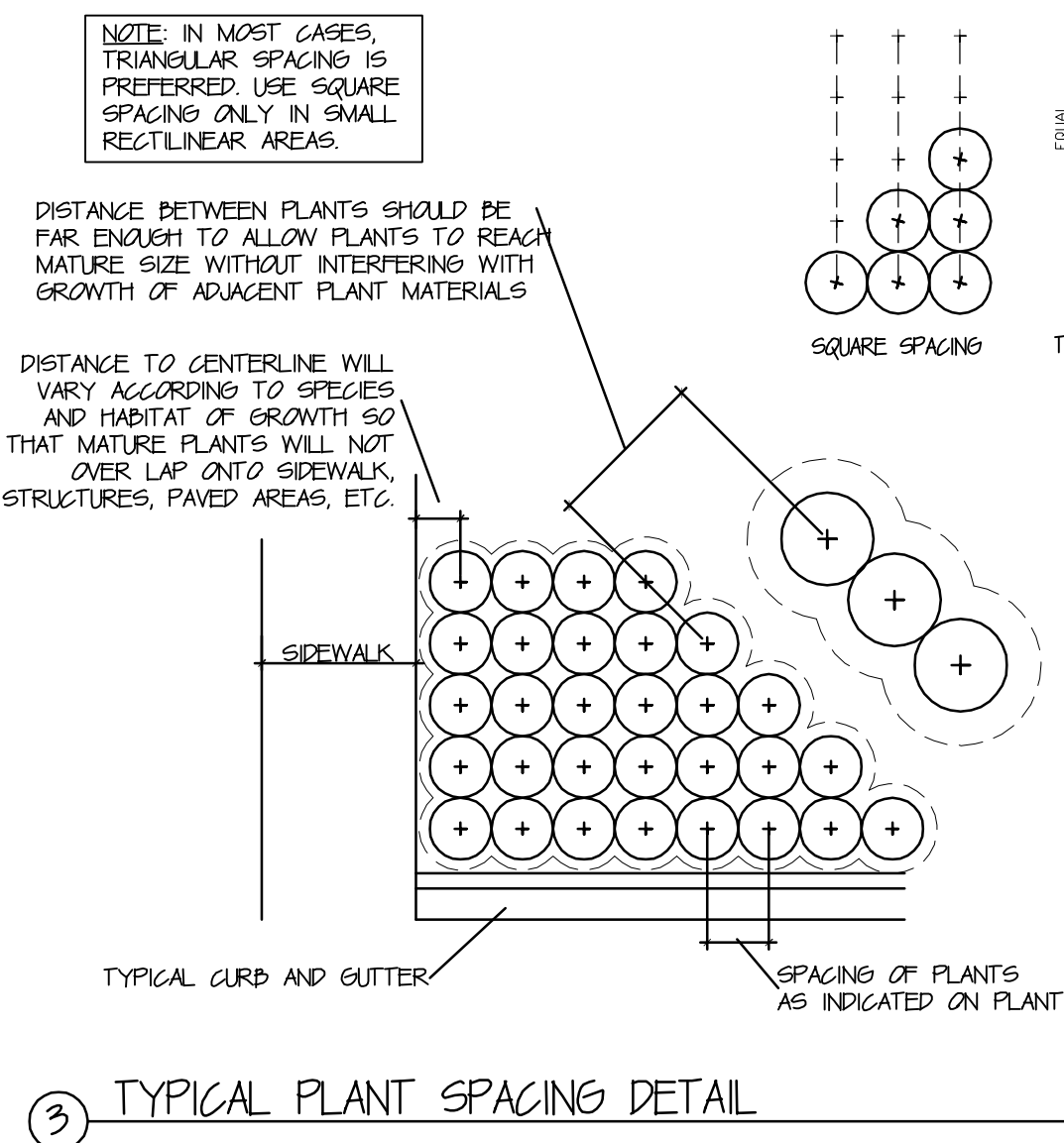
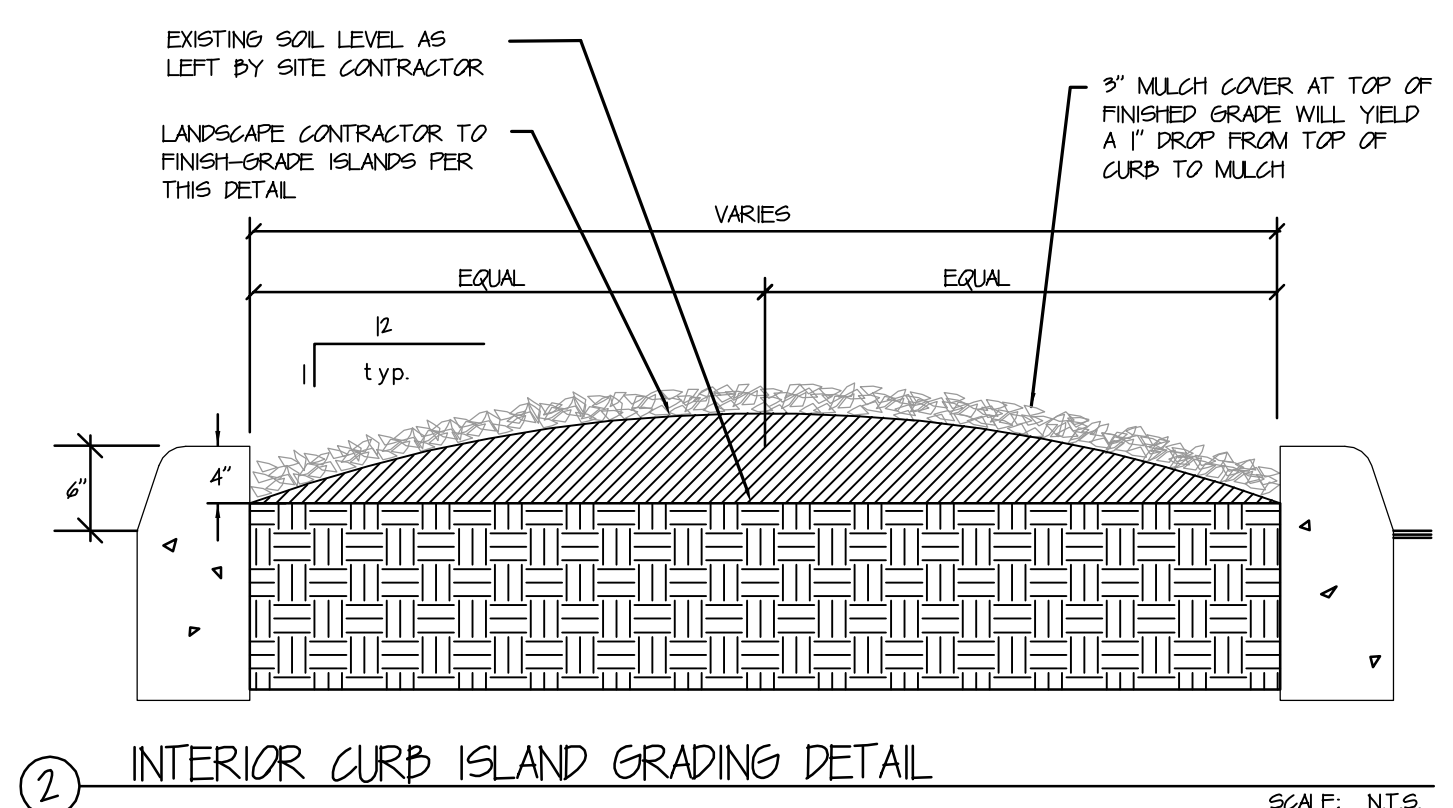
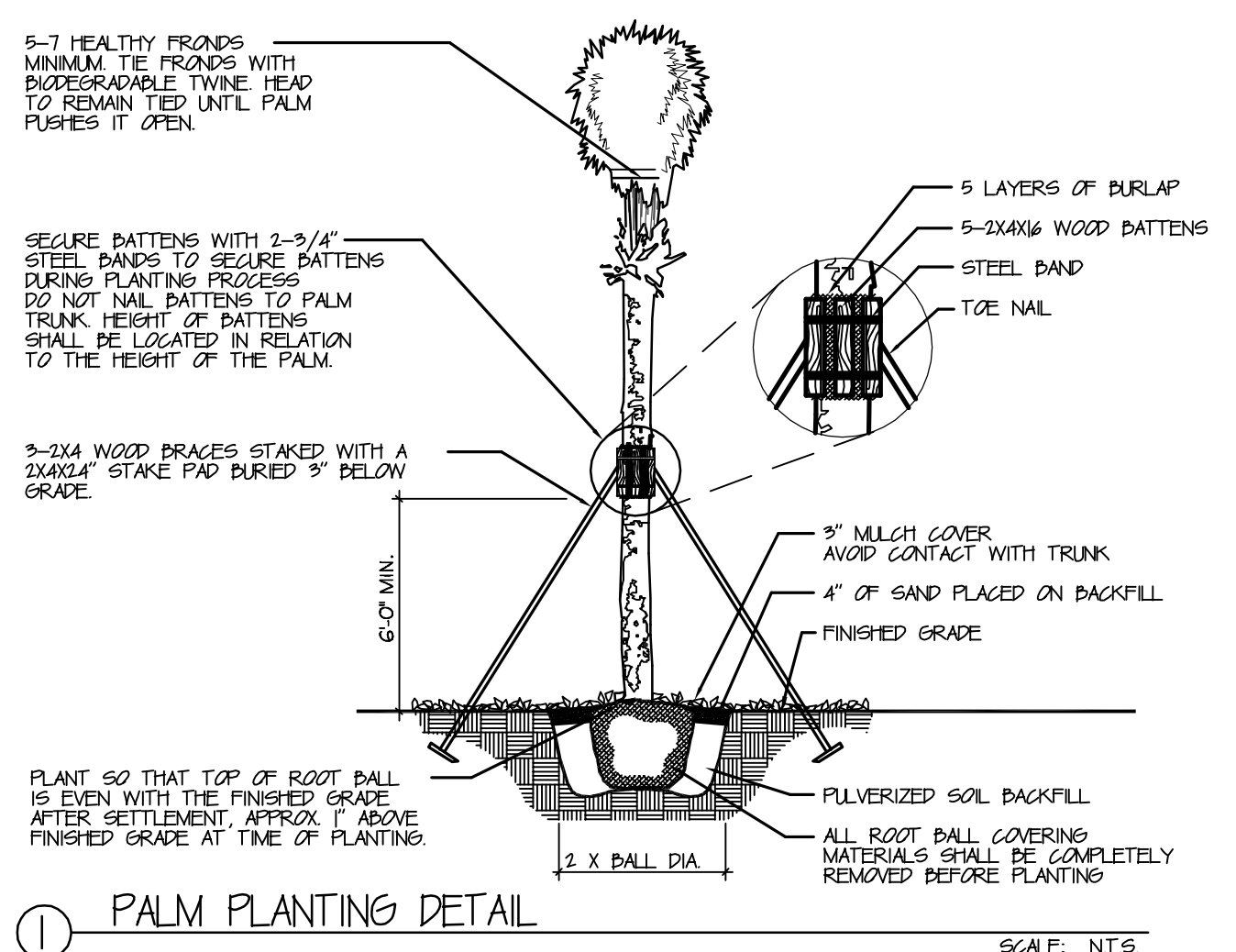
SYMB.	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE & SPACING
PALMS				
WR	17	WASHINGTONIA ROBUSTA	WASHINGTON PALM	MATCH EXISTING VARIED HT'S (10'-16' G.T.), REMOVE BOOTS 6"
SHRUBS, GROUNDCOVER, AND VINES				
PLR	29	PENTAS LANCEOLATA 'RUBY RED'	RED PENTAS	1 PINT, MIN. 10" HT., 18" OC.
RI	114	RAPHIOLEPIS INDICA 'ALBA'	WHITE INDIAN HAWTHORN	3 GAL., 15" HT. X 15" SPRD., 24" OC.
TV	125	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL., 12" SPRD., 18" OC.

LANDSCAPE SPECIFICATIONS

- FLORIDA III: ALL PLANT MATERIAL SHALL BE GRADE FLORIDA NO. I OR BETTER IN QUALITY AS DESIGNATED IN THE MOST RECENT PUBLICATION OF "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. SEE #11 FOR INFO.
- EXISTING PLANTS: IF PROPOSED PLANTINGS SHOWN ON PLAN INTERFERE WITH EXISTING LANDSCAPING, THE EXISTING LANDSCAPING IS TO BE REMOVED IN FAVOR OF THE NEW PLANTINGS.
- MULCH: ALL PLANTING BEDS SHALL BE TOP DRESSED WITH 3" FINE DARK MULCH, GRADE "B" OR BETTER. ALL TREES NOT IN BEDS SHALL HAVE A 5' DIAMETER MULCH RING. ALL PALMS NOT IN BEDS SHALL HAVE A 3' DIAMETER MULCH RING.
- SOD: SOD SHALL BE ST. AUGUSTINE FLORITAM UNLESS OTHERWISE SPECIFIED ON THE PLANS AS ARGENTINE DAKIA. ALL SOD SHALL BE ROLLED CONTRACTOR TO SOD ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION RELATED ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SOD IS FREE OF WEEDS UPON INSTALLATION AND FOR THE DURATION OF THE 30 DAY MAINTENANCE PERIOD. SOD QUANTITY TAKEOFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- QUANTITIES: IN THE EVENT OF A VARIATION BETWEEN THE QUANTITIES SHOWN ON THE PLANT LIST AND THE ACTUAL QUANTITY OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL.
- UNFORESEEN CONFLICTS: CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY PORTION OF THE LANDSCAPE PLAN AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNFORESEEN OBSTRUCTIONS, GRADE DIFFERENCES, STANDING WATER, SOIL CONDITIONS OR OTHER CONFLICTS EXIST. SUCH UNFORESEEN CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SUBSTITUTIONS: NO SUBSTITUTIONS OR VARIATIONS OF ANY PLANT MATERIAL OR ITS INSTALLED LOCATION WILL BE PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT AND APPROVAL FROM THE LANDSCAPE ARCHITECT.
- CONTAINERS: IF GALLONAGE FOR PLANTS OR TREES IS SHOWN THEY SHALL BE CONTAINER GROWN AND THE SIZE SHOWN SHALL REPRESENT THE MINIMUM ALLOWABLE GALLONAGE ACCEPTED. IN ALL CASES THE PLANT SPECIFIED SIZE SHALL GOVERN OVER THE GALLONAGE INDICATED.
- SOIL TESTING: CONTRACTOR SHALL PROVIDE TO OWNER'S REPRESENTATIVE TESTING REPORTS FROM SOIL SAMPLES TAKEN AT A RATE OF ONE SAMPLE FROM EACH OF THE DIFFERENT AREAS TO BE PLANTED. AT MINIMUM, TESTING REPORTS SHALL BE PROVIDED FOR THE NORTH, SOUTH, EAST, AND WEST PORTIONS OF THE SITE.
- PLANTING SOIL: CONTRACTOR SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO THE PLANT SPECIES SPECIFIED. IF SOIL CONDITIONS ARE DEEMED UNSUITABLE FOR PROPER PLANT HEALTH, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND PROPER SUBSTITUTIONS SHALL BE SPECIFIED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ADDITIONALLY, IF PRESENT, THE CONTRACTOR SHALL REMOVE LINE ROCK, CONCRETE, AND OTHER DELETERIOUS DEBRIS FROM PLANTING BEDS. IF DEBRIS IS INTEGRATED IN THE SOIL, THE SOIL MUST BE EXCAVATED AND REPLACED WITH ACCEPTABLE SOIL. LASTLY, ALL FILL TO BE PLACED IN LANDSCAPE AREAS MUST HAVE A pH RANGE BETWEEN 5.8 AND 7.5, BE ORGANIC IN NATURE, AND BE FREE OF ROCKS AND DEBRIS.
- TOPSOIL: TOPSOIL MATERIAL, IF REQUIRED, SHALL BE FREE FROM ALL HARD CLUMPS, WEEDS, STONES OVER 1" IN DIAMETER, CLAY, HARD PAN, NOXIOUS PLANTS, SOD, INSECTS, OR OTHER UNDESIRABLE PLANTS, SEEDS, OR MATERIAL WHICH MAY BE HARMFUL FOR GROWTH AND SHALL BE CERTIFIED AS STERILE.
- WEEDS: IF PRESENT, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY WEEDS FROM PLANTING AND SOD AREAS PRIOR TO THE INSTALLATION OF PROPOSED PLANT MATERIAL AND MULCH COVER. CONTRACTOR SHALL BE RESPONSIBLE TO KEEP BEDS AND SOD FREE OF WEEDS FOR THE DURATION OF THE 30 DAY MAINTENANCE PERIOD.
- GRADING: UNLESS OTHERWISE STATED ON THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED AND SODDED IN ORDER TO ELIMINATE BUMPS AND DEPRESSIONS. FINE GRADING SHALL BE DEFINED AS THE FINAL 2" OF GRADE TO BE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REGRADING WASHOUT AREAS CAUSED BY EROSION UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- STAKING: ALL TREES AND PALMS ARE TO BE STAKED ACCORDING TO THE DETAILS IN THESE PLANS. IF THE CONTRACTOR PREFERS TO USE OTHER STAKING METHODS THAN SHOWN IN THE DETAILS, HE OR SHE MUST SUBMIT PROPOSED STAKING DETAILS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN, REPAIR, AND/OR REPLACE ANY PLANTS DAMAGED BY FAILURE TO PROPERLY STAKE OR GUY ANY TREES ON SITE, AT THEIR OWN EXPENSE.
- CURVILINEAR: CURVILINEAR LANDSCAPE BEDS ARE TO BE EDGED WITH SMOOTH FLOWING CURVES. STRAIGHT-LINE LANDSCAPE BEDS ARE TO BE EDGED IN A STRAIGHT LINE PARALLEL TO PARKING LOTS AND STRUCTURES UNLESS DESIGNED OTHERWISE.
- FERTILIZER: OSMOCOTE SLOW RELEASE FERTILIZER OR EQUIVALENT SHALL BE APPLIED TO ALL TREE, SHRUB, AND GROUNDCOVER PLANTING AREAS AT THE RATE OF THREE (3) TABLESPOONS PER 2 SF. OF PLANTING AREA.
- DRAINAGE: THE LANDSCAPE CONTRACTOR SHALL ASSURE THAT THIS WORK DOES NOT INTERRUPT EXISTING OR PROPOSED DRAINAGE PATTERNS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHALL A CONFLICT ARISE. CONTRACTOR IS RESPONSIBLE FOR ALL LANDSCAPE/SOD AREAS TO PROPERLY DRAIN AWAY FROM BUILDINGS/STRUCTURES.
- SPECIFICATIONS: THE LANDSCAPE ARCHITECT SHALL BE PERMITTED THE RIGHT DURING INSTALLATION, TO REJECT ANY AND ALL PLANT MATERIAL AND WORKMANSHIP WHICH IN HIS OR HER OPINION DOES NOT MEET THE REQUIREMENTS OF THESE SPECIFICATIONS.
- TURNOVER: CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE FOR A TURNOVER DATE TO INCLUDE A WALK-THROUGH AND ACCEPTANCE OF WORK BY THE LANDSCAPE ARCHITECT. ANY WORK DEEMED UNACCEPTABLE SHALL BE CORRECTED IMMEDIATELY AND REINSPECTED AS SCHEDULED.
- MAINTENANCE: CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE TO BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE 30 DAYS AFTER FINAL WRITTEN ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL INCLUDE WATERING, PRUNING, WEEDING, MULCHING, MOWING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY IN ORDER TO MAINTAIN PROPER PLANT HEALTH AND SOIL MOISTURE CONTENT.
- WARRANTY: CONTRACTOR SHALL GUARANTEE ALL INSTALLED PLANT MATERIAL FOR ONE (1) CALENDAR YEAR STARTING FROM THE TURNOVER DATE SHOULD WORK BE FOUND ACCEPTABLE. ANY CORRECTED WORK SHALL HAVE A PROPORTIONAL EXTENSION OF WARRANTY ONCE APPROVED. ANY SICK OR DEAD MATERIAL SHALL BE REPLACED IMMEDIATELY. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE TO HONOR ANY WARRANTY FOR THE LOSS OF ANY PLANT MATERIAL CAUSED BY FLOODING, FIRE, FREEZING TEMPERATURES, WINDS OVER 50 MPH, LIGHTNING, ANY OTHER NATURAL DISASTER, OR ANY LOSS/DAMAGE CAUSED BY VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- ROOT BARRIER: ROOT BARRIER TO BE INSTALLED 15' AWAY FROM TREE WHERE ROOTS MAY POTENTIALLY DISTURB INFRASTRUCTURE.

IRRIGATION NOTES

- AMEND EXISTING AUTOMATIC TIME CONTROLLED IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF ALL NEW PLANTINGS.



ZEV COHEN & ASSOCIATES, INC.
300 INTERCHANGE BLVD.
DAYTONA BEACH, FL 32114
(386) 877-2482 FAX (386) 877-2505
4475 U.S. 1 S. ST. AUGUSTINE
ST. AUGUSTINE, FL 32086
(904) 797-1610 FAX (904) 797-4159
AMELIA ISLAND
DAYTONA BEACH, FL 32024
(904) 481-5438 FAX (904) 481-4159

NO.	DATE	DESCRIPTION
1	7/15/15	ISSUED PER DAYTONA BEACH COMMENTS, DATED 6/18/15

REVISIONS:

HENDRICK HONDA OF DAYTONA BEACH SHOWROOM EXPANSION LANDSCAPE PLAN & DETAILS
VOLUSIA COUNTY, FLORIDA
CITY OF DAYTONA BEACH

ZEV COHEN & ASSOCIATES, INC.
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
PLANNERS • TRANSPORTATION • ENVIRONMENTAL
1001 W. UNIVERSITY AVENUE, SUITE 100
DAYTONA BEACH, FL 32114
WWW.ZEVCOHEN.COM
PROJECT NO. 15008
ISSUE DATE: 06/01/15
DESIGNED BY: AMS
DRAWING FILE: 15008LA
CHECKED BY: PM
CREATED BY: AKS

FILE LOCATION: -
SUBMITTAL DATE: 7/9/15
SCALE: 1" = 30"
SHEET: LA1 OF 1

PAUL MOMBARGER, RLA
NOT VALID WITHOUT EMBOSSED SEAL



Hendrick Daytona Beach Sign Plan
- Four existing signs are located on the property. The existing signs total 1 existing monument sign and 3 existing wall signs. (Signs shown in red)
- There is one proposed wall sign to be located on the building. (Sign shown in blue)

SITE PLAN KEY

- EXISTING BUILDING(S)
- NEW ADDITION

REDLINE
DESIGN GROUP

1023 w. morehead st.
suite 220
charlotte, nc 28208

p. 704 . 377 . 2990
f. 704 . 377 . 2909

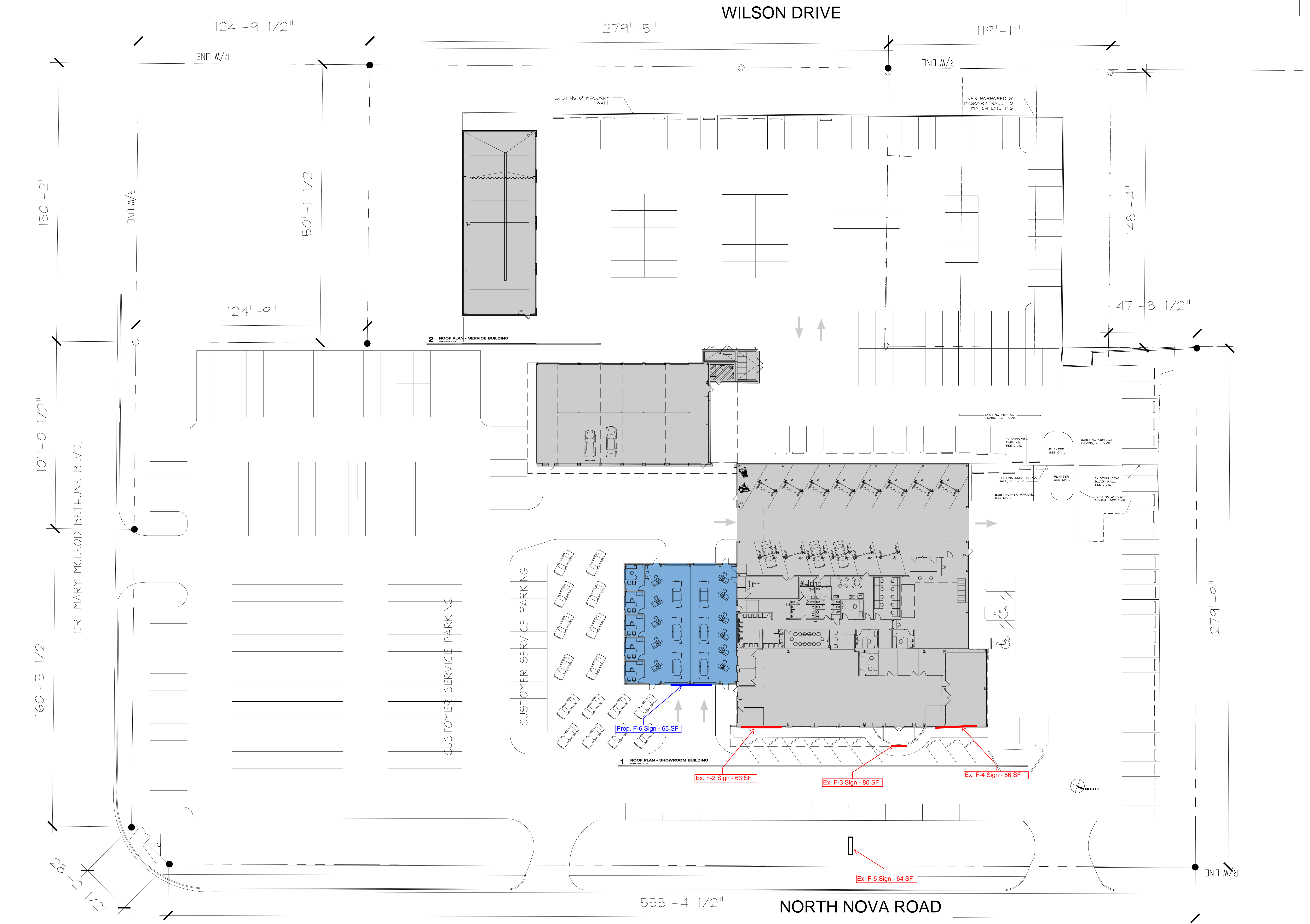
www.redlinedg.com



HONDA CARS OF DAYTONA
SHOWROOM, SERVICE AND PARTS BUILDING

330 N. NOVA RD.
DAYTONA, FL 32114

Exhibit E



ISSUE	DESCRIPTION	DATE
1	SITE PLAN	08.29.2016

OWNER'S PROJECT # HDB-SSP
ARCHITECT'S PROJECT # 11-121

SITE PLAN
SCALE: 1" = 20'-0"

SHEET # **AS1.1**

JAMES S. MORRIS
ATTORNEY AND COUNSELOR AT LAW

February 22, 2017

***PROPOSED PLANNED DISTRICT (PD-G) REZONING REQUEST
HENDRICK HONDA DAYTONA
WRITTEN SUMMARY OF
NEIGHBORHOOD MEETING***

Meeting Time and Location: The neighborhood meeting regarding the above referenced project was held at 6:00 p.m., November 28, 2016 at the Hendrick Honda Dealership Conference Room located at 330 N. Nova Road, Daytona Beach, Florida 32114. The property was posted with three (3) fluorescent orange placards obtained by the applicant. See attached photos.

Meeting Attendees: Developer representatives present at 6:00 p.m. were Jim Morris, Hendrick Honda representatives Jennifer Bowers and Rafael Reyes and Zev Cohen & Associates representative Luke Kilic. The local store manager together with two (2) neighborhood members: Ms. Muriel J. Bartley, 300 Bartley Road, Daytona Beach and Lynette Washington, 304 Division Street, Daytona Beach also attended. A sign up sheet of meeting attendees is attached.

Attendee Comments: A summary of attendee comments, questions and concerns is set forth below. Attendees were advised they could write or call the applicant or the City if additional comments arose or they wanted to raise particular issues.

Issue: Will my taxes go up due to improvements of the dealership?

Response: It's unlikely plus the property is homestead so under the "Save Our Homes Amendment" taxable value is limited to a maximum of increase of three (3%) percent.

Issue: Will the zoning make my house nonconforming, tow it: will the zoning stop me from using my house for a home?

Response: No. Your property will still be zoned for and legal to use as a single family residence.

Issue: There is one light in the south parking area that shines into the [Mrs. Washington's] property. Can anything be done about it?

Response: Yes. Honda representative Rafael Reyes, the dealership manager, promised to work with Mrs. Washington to resolve the issue.

Issue: Can the music be turned down after closing?

Response: There is no dealership music but the late night maintenance crew may play music. Honda Representative Rafael Reyes, dealership manager, promised to look into the matter.

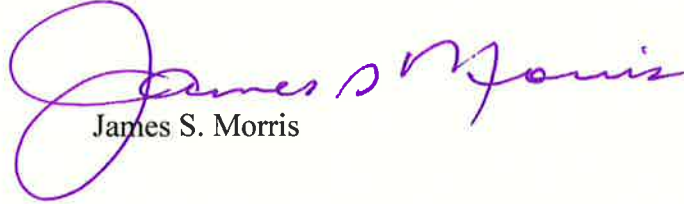
JAMES S. MORRIS, P.A. ♦ P.O. BOX 291687 ♦ PORT ORANGE, FL 32129
750 OAK HEIGHTS COURT, UNIT 304 ♦ PORT ORANGE, FL 32127
386-310-8784 ♦ 386-310-8783 FAX ♦ JIM@JAMESMORRISPA.COM

Project Information: A copy of the site plan and elevation drawing was presented to the two (2) neighborhood attendees.

Meeting Adjournment: The meeting ended at approximately 7:15 p.m

Respectfully submitted,

JAMES S. MORRIS, P.A.



James S. Morris

JSM/kf